ATLANTIC HIGHLANDS PLANNING BOARD APPLICATION FOR VARIANCE

1.	I/weKate Murray, the applicant(s) herein, whose mailing
	address is 1 Observatory Place, Atlantic Highlands, NJ 07716
	and whose phone number is <u>732-939-3838</u> I am/are the owner/contractor of property located at <u>1 Observatory Place, Atlantic Highlands, NJ 07716</u>
	also designated as Block, Lot(s), Lot(s) on the Tax Map of the Borough of Atlantic Highlands.
2.	The Property is in the <u>R-2</u> Zone, it has street frontage of <u>78</u> feet and an average depth of <u>185</u> feet and an area of <u>16,033</u> square feet.
3.	The proposed percentage of lot coverage by both the existing structure and proposed additions will be 29%
4.	The following structures, buildings and/or uses are located on the property: One story single family dwelling.
5.	Application is hereby made for a variance to: Add a second level over existing first floor as well as a two story addition increasing the total s.f. to 4,253;
	add covered porch on side
6.	The reason for this request and the grounds urged for the relief are as follows: 1. Minimum lot coverage: pre-existing non conformity
	2. Minimum rear set back: pre-existing non conformity intensified 1st floor variance required. 3. Minimum side set back: pre-existing non conformity intensified two story addition variance required
7	4. Maximum building coverage: pre-existing non conformity intensified variance required The section(s) of the Borougn Zoning Ordinance upon which this application is based is:
1.6	Section 5-2 as per Zoning Officers denial letter. (attached)
g	Property Tax & Water Bills have been paid through the <u>3rd</u> quarter of 20 <u>23</u> .
	Has the property been separated from a larger tract of land? Yes NoX If yes, when? Has the Planning Board approved the subdivision Yes NoN/A If yes, when?
10.	If there has been any previous appeal or application to the Planning Board involving the premises, state: Date of Filing: Character of Appeal Disposition:
I/W	e the undersigned, certify that of all of the statements contained herein are true and correct to the best of my/our
kno	bilicant Signature Date
	\bigcirc
Арр	licant Signature Date

Location sketch shall include the exact location of the property in question, giving the tax map lot and block numbers, the name of the street, the approximate distance to the nearest cross street and the direction of North. For a variance from the required minimum area or setbacks, the sketch should locate the buildings on the property. Show any other particulars that you would consider important for the Board to render its decision.

AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY	:	
	;	SS
COUNTY OF	:	

Kate Murray	, being of full age, and being duly sworn according
to law on oath deposes and says that the depone	nt resides at <u>1 Observatory Place</u>
in the <u>Borough</u> of	Atlantic Highlands, in
the County of Monmouth	and the State of New Jersey
that la	amif the owner in fee of all that certain lot, piece
of parcel of land situated, lying and being in the r	municipality aforesaid, and known and designated as
Block, Lot(s)5	
Sworn to and subscribed before me this <u>12 </u> day of <u>Heamber</u> 20 <u>23</u> ERIE C. BREWSTER NOTARY PUBLIC, State of New York No. 01BR6424671 Qualified in Kings County Commission Expires 11/08/20 <u>1</u> 3	Property Owner Signature

Notary Seal

AUTHORIZATION (If anyone other than the above owner is making this application, the following authorization must be executed)				
I hereby authorize application.		to make the within		
Signature	Date	2		

CAMPAIGN CONTRIBUTION DISCLOSURE STATEMENT PROVIDED PURSUANT TO SECTION 9-3.2k, OF THE REVISED GENERAL ORDINANCES OF THE BOROUGH OF ATLANTIC HIGHLANDS

COUNTY OF MONMOUTH :

STATE OF NEW JERSEY

I, Kate Murray

____, of <u>1 Observatory Place</u>

whose address is <u>1 Observatory Place</u>, Atlantic Higlands, NJ 07716

being of full age certify as follows:

- I have not knowingly made any campaign contribution to or on behalf of any candidate, candidate committee, joint candidate's committee, political committee, continuing political committee or political party committee of, or pertaining to, the Borough of Atlantic Highlands, within one year prior to filing the variance application and/or during the pendency of the application process for a variance, and that I have not otherwise violated Chapter 9-3 of the General Ordinances of the Borough of Atlantic Highlands hereof.
- 2. I understand that I have a continuing duty to report immediately to the Borough of Atlantic Highlands any campaign contributions made in violation of Section 9-3 of the General Ordinances of the Borough of Atlantic Highlands.

I certify that the foregoing statements made by me are true. I understand that if any of the statements made by me are willfully false, I am subject to punishment.

d:	12/12/23 Signed: fati M
	I certify that on this <u>12</u> day of <u>December</u> , 20 <u>23</u> , the subscriber,
	<u>Hatt</u> , <u>Murray</u> , personally appeared who I am satisfied is the person named herein and who executed the within instrument and thereupon she/he
	acknowledges that she/he signed, sealed and delivered as her/his act and deed, for the ERIE C, BREWSTER uses and Roman Science and Reference No. 01BR6424671 Qualified in Kings County Commission Expires 11/08/20_23
	Notary Seal My Commission expires on <u>1/08/23</u>

All developers, associates of developers and development professionals who apply for or provide testimony, plans or reports in support of a variance as listed below, and who have an enforceable proprietary interest in the property or development which is the subject of an application or whose fee in whole or in part, is contingent upon the outcome of the application, are required to provide

this Contribution Disclosure Statement which shall be included as an element of the "Applicant Checklist" submitted with an application for variance pursuant to NJSA 40:55D-70(d) as well as for relief pursuant to NJSA 40:55-D-70(c) or NJSA 40:55D-51 in applications for site plan and subdivision approval not considered to be minor site plans or minor subdivisions pursuant to the Ordinances of the Borough of Atlantic Highlands. This requirement is pursuant to Section 9-3.2k, of the Revised General Ordinances of the Borough of Atlantic Highlands.



BOROUGH OF ATLANTIC HIGHLANDS **100 First Avenue** Atlantic Highlands, New Jersey 07716 Fax 732-291-9725 732-291-1444 utilitycollector@ahnj.com www.ahnj.com

VERIFICATION THAT PROPERTY TAXES AND WATER AND SEWER BILLS HAVE BEEN PAID (MUST ACCOMPANY ALL PLANNING BOARD APPLICATIONS)

BLOCK: 27 LOT: 5

QUAL:

NAME: Kate Murray

ADDRESS: 1 Observatory Place, Atlantic Highlands, NJ 07716

PROPERTY TAXES ON THE ABOVE PROPERT ARE PAID TO DATE.

1110

CATHERINE POOLER, TAX COLLECTOR DATE

WATER AND SEWER CHARGES ON THE ABOVE PROPERTY ARE PAID TO DATE.

2024

CATHERINE POOLER, UTILITY COLLECTOR DATE

BOROUGH OF ATLANTIC HIGHLANDS DEVELOPMENT PLAN CHECKLIST

DATE:					
PROJECT NAME: 1 Observatory Place					
OWNER: Kate Murray					
ENGINEER/DESIGNER: Anthony Condouris					
PERSON COMPLETING THIS FORM: Kate Murray					
RELATIONSHIP TO OWNER:Self					
LOCATION OF SITE: BLOCK 27 LOT 5					
STREET ADDRESS _1 Observatory Place Atlantic Highlands, NJ 07716					

THIS FORM MUST BE COMPLETED AND RETURNED TO THE BOARD SECRETARY WITH THE SITE PLAN, SUBDIVISION OR VARIANCE APPLICATION WHEN FILED. ALL OF THE FOLLOWING ITEMS MUST BE SHOWN ON THE SUBMITTED PLANS OR ATTACHED THERETO OR FILED FOR THE APPLICATION TO BE CONSIDERED FOR COMPLETENESS REVIEW.

If a waiver is requested from any of the following items, the items should be checked where provided and an explanation of the reasons for the waiver explained under Section U

A. FILING DATA

MINOR, PRELIMINARY & FINAL PLAN APPLICATION

TO BE CHECKED BY APPLICANT	**This section is Not Applicable	DO NO OFFICE		
WAIVER	1. 18 Paper copies of plans and specifications	WAIVER	YES	NO
	2. 18 Copies of completed application			-
	3. Zoning Officer's written review			

Development Plan Checklist $P a g e \mid 2$

<u>to be ch</u> By applic				DT USE E USE (
WAIVER		4. Soil removal permit signed by Borough Engineer	WAIVER	YES	NO
		 Certification by Tax Collector that all taxes and water/sewer bills are paid – including current taxes and assessments for local improvements 			
		6. Applicable filing fees	5 		
		7. Three copies of performance guarantee Approved by the Borough Attorney and Borough Engineer, and cash portion of performance guarantee			
	() ()	8. Staging Plan, if applicable			
		9. Letters from each utility stating that they will provide service to the proposed facility			
		10. Any resubmission must conform to items 1 & 2 inclusive, and item 8	<u> </u>		
ŝ		11. Current letter from Borough Engineer certifying that he has assigned block and lot numbers			
		12. Deeds of easement, right of way, drainage, sewer, sight, open space, etc., approved by Borough Attorney and Borough Engineer			
		 Disclosure of 10% ownership interest of corporation or partnership which is 10% owner of applying corporation or partnership 			
	();	14. Prior to final submission, a list of proposed Street names must be submitted to the Board Secretary			
		15. Corporate Resolution authorizing officers to act, if applicant is corporation			

8 1 2				
TO BE CHECKED BY APPLICANT		DO NO OFFICI		1943.203 B2235
WAIVER		WAIVER	YES	NO
	16. Fees and application for Monmouth County Planning Board, if applicable	1 <u></u> 10		
	17. All plats must have the correct and only the correct signature blocks. Applicant and owner shall sign appropriate signature blocks in black ink	-		
	18. For all applications having a public hearing, an Affidavit of notice must be filed prior to placing on the agenda for the public hearing together with a copy of the certified mail receipts obtained when the notices were mailed, the certified mail return receipts, and an affidavit o publication from an official newspaper of the borough. Notices must be as provided by law			
VA	RIANCE APPLICATIONS (See Addendum on last pa	ge)		
X	 18 copies of request for variance, outlining the proposed variance from zoning requirement 			
X :	 18 copies of drawings unless variance is part of site plan or subdivision application, in which case site plan or subdivision plans suffice 			
TBD	 Certified list of property owners, certified mail return receipts of notices, affidavit of publication in official newspaper filed prior to placing on the agenda for the public hearing 			

12

TO BE CHECKED BY APPLICANT			OT USI E USE	
WAIVER		WAIVER	YES	NO
B. <u>ADN</u>	INISTRATIVE DATA			
X	1. Title of project set forth on application			
X	2. Names, address of owner and name, address and phone number of applicant and relationshi to owner	 D		
X	3. Owner's signed certificate of concurrence with Plan: "I hereby certify that I am the owner of record of the plan herein depicted and that I concur with the plan"	· ·		
X	 Name and license number of site planner or professional engineer with documents sealed with raised seal 			
X	5. Date and revision dates of drawings	()		
X	 Scale and graphic scale, not smaller than 1"=50' and not larger than 1" =10' except where authorized by Borough Engineer 	x		
X	7. North arrow			
X	 Key map, not smaller than 1" = 2,000' showing location in the Borough 			
X X	 9. <u>Schedule</u> a. Total area of site in acres and square feet b. Total building area in square feet and % lot coverage c. Total landscape area in square feet and % lot coverage 	;		
X	d. Total area of driveways, access roads, walkways, in square feet and % of lot			

rage j	
TO BE CHECKED BY APPLICANT	DO NOT USE OFFICE USE ONLY
WAIVER	WAIVER YES NO
	coverage e. Total parking area (including drive aisles) in square feet and % of lot coverage f. Number of parking stalls, and stall dimensions
_X	g. Number of employees, total and maximum
<u> </u>	in one shift h. Ratio of parking to building size of occupancy or both depending on use
X	i. Total impervious coverage
	10. Existing and proposed streets, with dimensions and typical section
X	11. All property line dimensions, directions, calculated areas, setback lines and lot numbers
X	12. Existing zoning and zone boundaries and
X	13. Names of all adjacent property owners within 200' radius with lot and block numbers
X	14. Tax map sheet, block and lot numbers

C. SURVEY

Х

Х

-

 Prepared by a New Jersey Licensed surveyor survey not more than five (5) years old, showing existing and proposed monuments
 Location of existing rock outcrops, high points, water courses, depressions, ponds, marshes,

trees with a diameter of four (4) inches or more as measured three (3) feet above the base of the trunk, and other significant existing features including previous flood elevations or water-

TO BE CHECKED BY APPLICANT		DO NOT OFFICE U	<u>use</u> Ise only
WAIVER		WAIVER Y	ES NO
X	 courses, ponds and marsh areas, as determine by survey All existing and proposed lot lines. All setback lines with dimensions. Existing and proposed lot and block numbers as assigned by the Borough Engineer 		
D. TOPOG	RAPHY:		
X	 Present and proposed grades based on NJ Geodetic Control Survey Datum, as required by ordinance. 	••••••••••••••••••••••••••••••••••••••	
X	. Bench mark indicated on plan		
	 Significant existing features: ponds, views, wooded areas, floodplains, etc 		
_X	First floor elevations of all proposed buildings		
<u>X</u>	Existing contours with intervals of one (1) foot where slopes are three percent (3%) or less, two (2) feet where slopes are more than three percent (3%) but less that fifteen percent (15%) and five (5) feet when fifteen percent (15%) or more, referred to a datum as provided by the Borough Engineer to be indicated by a dashed line. Where any changes in contours are propo- finished grades should be shown as solid lines	2 6)	
_X6	. Limits of cut and fill areas	<u></u>	
E. BUILDIN	GS AND STRUCTURES		
1	. Location of all existing and proposed structures and buildings and any other physica		

Page 7			
TO BE CHECKED BY APPLICANT			DO NOT USE OFFICE USE ONLY
WAIVER			WAIVER YES NO
		elements on and within 200' of site to remain or be removed	
	2.	Provision for refuse and garbage with details	
_X	3.	Proposed use of all buildings and sections thereof	
_X	¥4.	Location and description of all existing and Proposed signs	
X	5.	Loading areas, dimensioned	
X	6.	Elevations of the buildings and structures to ensure an architectural harmonious relation- ship to the community and community standards, and to ensure appropriateness of exterior material and trim	
_X	7,	Soil Boring information and recommendation	·
<u> </u>	8	Historic structures	
_X	9.	For buildings of more than two (2) stories in height, a floor plan of each story, indicating all fire exits and accessways, as well as the proposed use of said stories	
<u>X</u>	10.	For garden apartments, a "typical" floor layout of each apartment type in the proposed buildings	
<u>X</u>	11.	For all apartments and for any building exceeding two (2) stores in height, proposed architectural elevations	
<u>X</u>	12.	For any building exceeding forty (40) feet in height, a sketch indicating graphically the locations of all existing buildings within two	

TO BE CHECKED BY APPLICANT DO NOT USE OFFICE USE ONLY

WAIVER

WAIVER YES NO

hundred (200) feet and their height relative to the proposed buildings, as well as their highest elevation above the datum provided in compliance with D.5 above

F. PARKING AREAS, TRAFFIC CONTOL, LIGHTING

<u> </u>	1.	Parking areas showings spaces and sizes
_X	2,	Driveways showing sizes, circulation, and traffic control signs. Fire lanes
	3.	Existing and proposed streets abutting the
	4.	Location and size of fire zones, loading zones
	5.	Sidewalks and other pedestrian ways
_X	6.	Surface of parking area, slopes, and barriers
	7,	Curbing at ingress and egress and parking
_X	8.	Lighting standards and utility poles indicating size, height, type, construction, light fixtures and locations
	9,	Lighting plan indicating specific height, foot candles, and provisions for elimination of sky glow and glare, and angle of light spread
	10.	Analysis of parking, including trip genera- tions of proposed development, volumes, numbers of employees and shifts. Expected truck traffic
X	11.	Handicapped parking

TO BE CHECKED BY APPLICANT			DO NO OFFIC		
WAIVER			WAIVER	YES	NO
<u> </u>	12.	Street light locations			
G. <u>ROAI</u>	os, driv	EWAYS, WALKS, CURBS, WALKWAYS & FENG	ING:		
_X	1.	Location and dimensions of all items, this category on the site and with 100 feet			
Χ	2.	Cross sections and profiles of all existing and proposed streets abutting the lots and within 250 feet	-	<u></u>	
	3.	Location, type and size of waste disposal system and sanitary sewer lines			
_X	4.	Location and type of utilities: electric, cable TV, gas, telephone, water. Underground lines, present and proposed connections or extensions			
_X	5.	Show by means of contours and/or spot grades that lot drains adequately into exist- ing waterways and storm drains with pipe sizes, grades and direction of flow			
_X	6.	Location of all easements related to drainage, conservation and flood hazard areas			
X	7.	Storm drainage calculations 100 year storm certified by a professional engineer			
	8	Signed contract for water and letters of of service from other utilities			-
<u>X</u>	9.	Location profiles and cross-sections of all water courses and drainage facilities within 300' of limits of development. Flood hazard Boundaries			

Development Plan Che Page 10	cklist				
TO BE CHECKED BY APPLICANT			DO NO OFFICI		
WAIVER			WAIVER	YES	NO
<u> </u>	10.	Provision for storm water detention basins where required, including details of detent basins calculations in proper form for revie	ion		
_X	1 1.	Stream cross-sections			
H. <u>SIGNS:</u>					
_X	1.	Location, size, color, wording, letter size, illumination, materials of construction			
I. LANDS	CAPIN	<u>G:</u>	2		
<u> </u>	1.	Total square feet of landscaping	-		
	2.	Landscaping within the parking areas			
	3.	Buffer areas including location of landscape screen and fencing			
<u> </u>	4.	All areas landscaped: planting plan with size, species and spacing of proposed plant material	anna an		
<u> </u>	5.	Existing trees over 6" in diameter			
_X	6.	Proposed location, proposed species, quantity, and spacing of trees to be planted			-
I. <u>FIRE PR</u>	EVENT	TION:			
X 1	L.	Fire protection systems			

X_____ 2.

Hydrants, existing and proposed

Page 1	1		
TO BE CHE BY APPLICA			DO NOT USE OFFICE USE ONLY
WAIVER			WAIVER YES NO
Х	К.	Copy of any covenants or deed restrictions	
Х	L.	Soil Erosion and Sediment Control Plan and Soil Conservation District Approval (if project involves the disturbance of more than 5,000 square feet of land area	
Х	Μ.,	Location of any construction access roads	
Х	N.	Applicant for a project located within a Flood Hazard Area to apply for approval in conformance with the "90 Day Construction Permit Act"	
Х	0.	County Planning Board Review and Approval	
Х	Ρ.	State Ingress and Egress Approval	
Х	Q.	State DEPE-CAFRA Approval	
Х	R.	Army Corps of Engineer Permit Approval	
Х	S.	Letter from Atlantic Highlands Regional Sewerage Authority indicating receipt of application	
<u>X</u>	Τ.	NJDEPE Freshwater Wetlands Letter of Interpreta- tion or Letter of Exemption. Please indicate type of letter submitted	
Χ		a. Presence or absence determination (Type I)	
Χ		b. Footprint of disturbance presence or absence det	ermination (Type II)
X		 c. Delineation of freshwater wetlands, State open w transition areas for property under on acre (Type 	
X		 Regulatory line verification by NJDEPE (Type IV, realized are present on the site) 	equired if wetlands
X		e . Letter of Exemption related to USACOE Nationwi	de Permit

TO BE CHECKED BY APPLICANT

WAIVER

DO NOT USE OFFICE USE ONLY

WAIVER YES NO

U. Waiver Required From:

Reason:

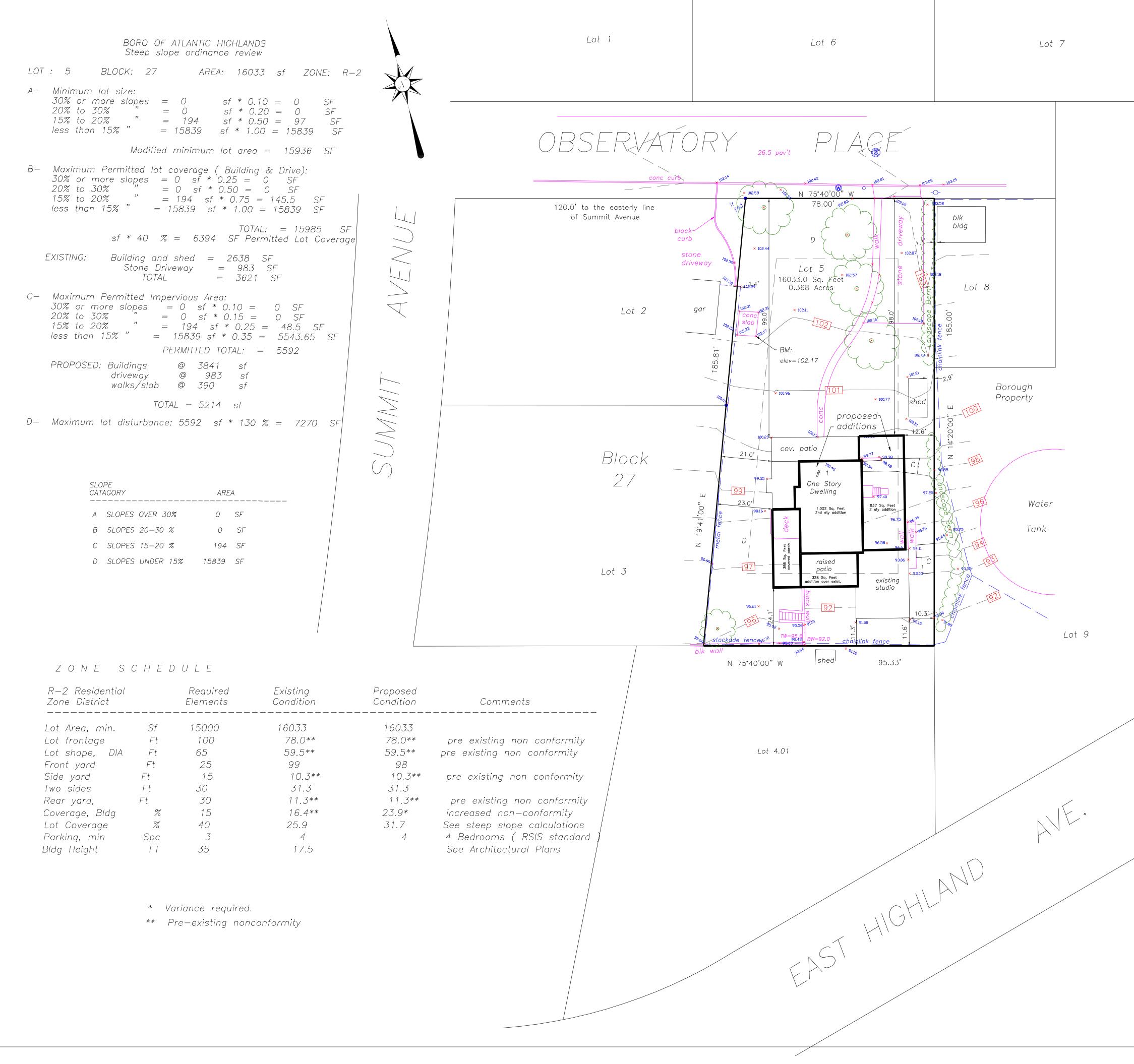
Waiver Required From:

Reason:

ADDENDUM TO DEVELOPMENT PLAN CHECKLIST – SEPTEMBER 1998 RE: VARIANCE APPLICATION IN STEEP SLOPE ZONE

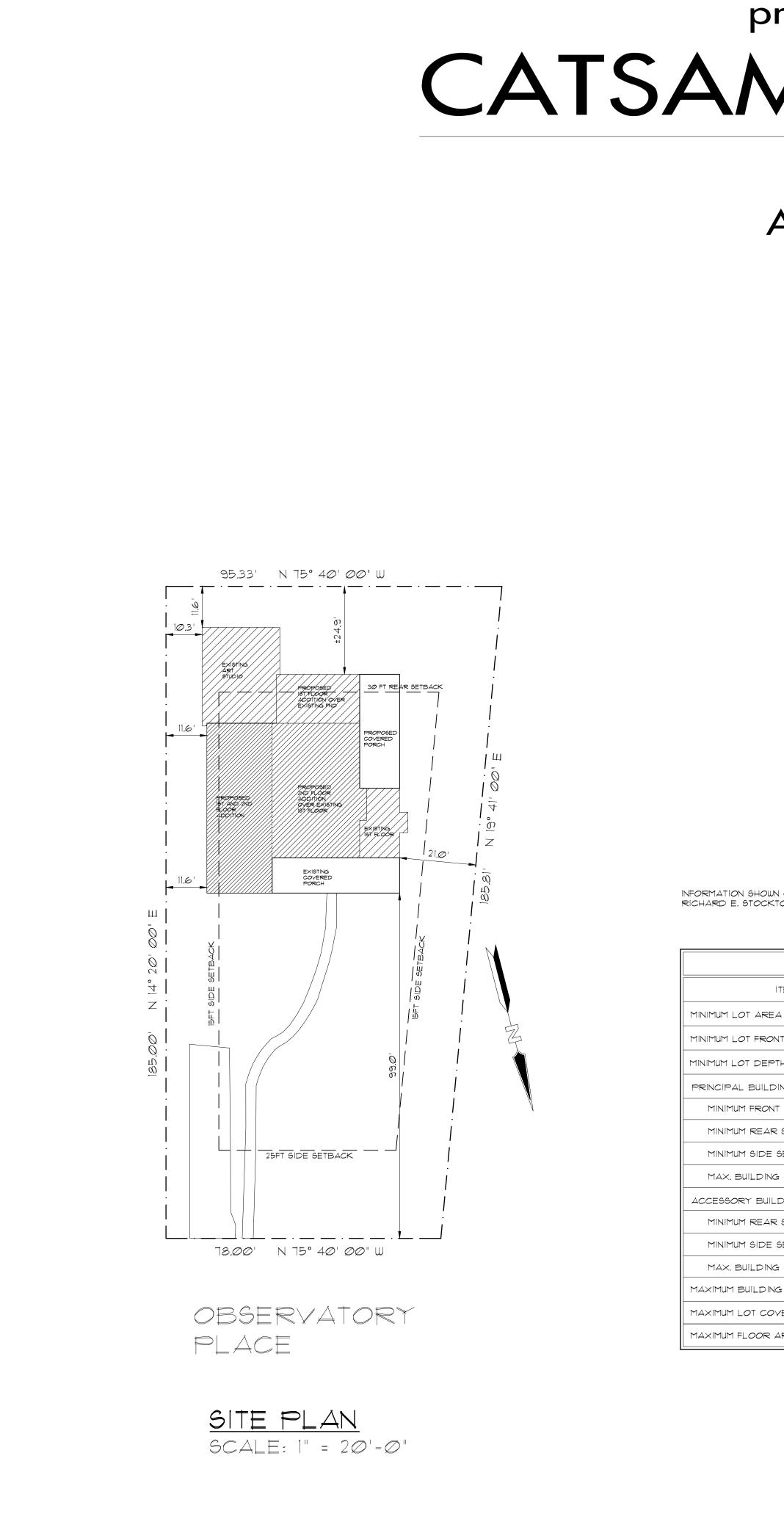
Any application for a Variance in the Steep Slope Zone, as defined by the Steep Slope Ordinance, is required to have Borough Engineer's review prior to being deemed complete by the Board for action.

If the application is incomplete in any of the above requirements, the documents will be returned to the developer and will not be accepted as a complete application.





NOTE	ES:			
Loc	al Bench mark	ASSUMED VERTICAL DAT elevation = 102.17'at of the conc slab, where	the	
Con	tour interval =	1 Foot.		
Groi Gua	und has not bee	the surface of the en located, and no istence or location plied.		
FULI FACT	L TITLE SEARCH	REEN PREPARED WITHOU AND IS SUBJECT TO SU BE REVEALED BY SAID	T A JCH	
CLUD	BUILDING AREA I. ING THE FRONT AND THE SHED	NCLUDES ALL ROOFED / PORCH, THE BACK RAIS).	AREAS, IN— SED PATIO	
	LEGEND: = spot elevation = iron pin foun = existing tree			
		0 20	40 60	
1	11-17-23	add proposed feature	s for area calculations	RLT
REV:	DATE:	DESCRIPTION:	REVIEW PLAN FOR	BY:
			IURRAY	
	DODOU	LOT 5 BL	OCK 27	Z NI I
	SURV	R AND T LA EYING & MAPPING-COM	ANDS, MONMOUTH COUNT ND SURVEYING NSULTING-CONSTRUCTION _ANDS, NJ 07716 732-872-28	SURVEYING
DATE:	RONALD	L TRINIDAD, NJ REGISTERED	LAND SURVEYOR, No. 24GSO43	37000 JOB NO: 7794
	1" = 20'	CAD# M-7794ss1.dwg		DWG NO: D-1064a



proposed additions and renovations for CATSAM MURRAY RESIDENCE

1 OBSERVATORY PLACE ATLANTIC HIGHLANDS, NEW JERSEY BLOCK 27 ~ LOT 5

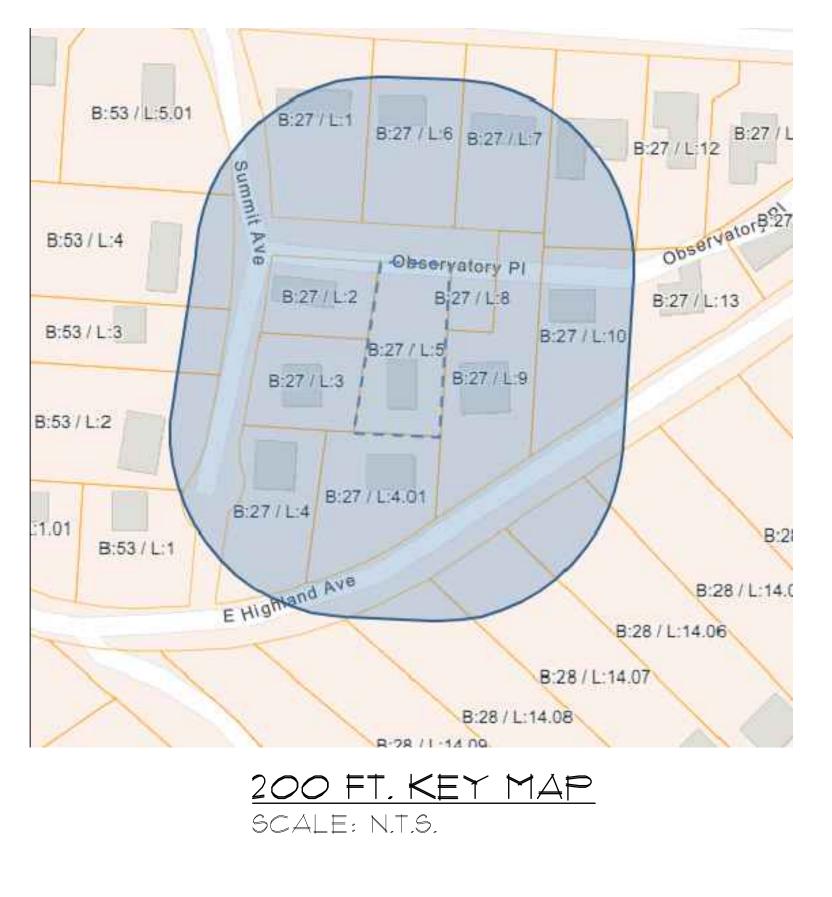
BUILDING DEF	PARTMENT D		
	EXISTING	ADDED	COMBINED
HABITABLE SPACES			
FIRST FLOOR	1,195 SQ. FT.	1,198 SQ. FT.	2,393 SQ. FT.
SECOND FLOOR	Ø 6Q. FT.	1,860 SQ. FT.	1,860 SQ. FT.
TOTAL	1,195 SQ. FT.	3,Ø58 SQ. FT.	4,253 SQ. FT.
VOLUME	28,000 CU. FT.	51,203 CU. FT.	79,203 CU. FT.
CONSTRUCTION CLASS		5B	
USE GROUP		R-5	

* NOTE: SQUARE FOOTAGE DATA NOT TO BE USED FOR CALCULATING CONSTRUCTION COSTS

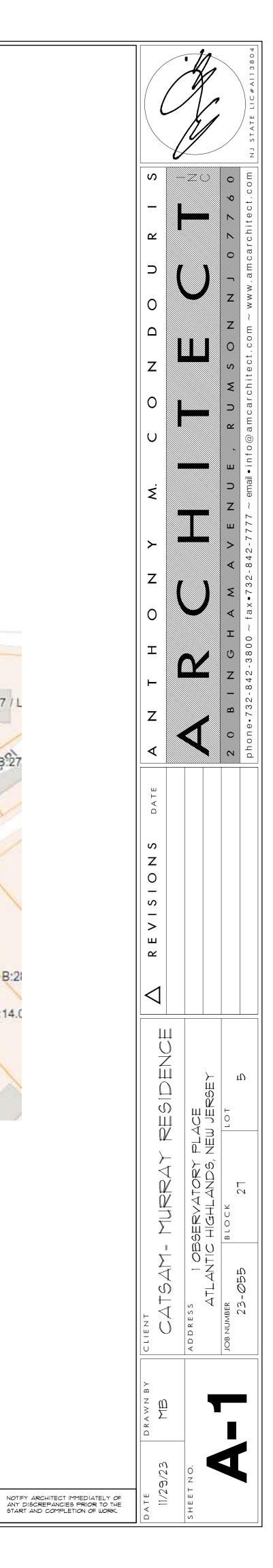
INFORMATION SHOWN ON THIS PLAN IS BASED ON SURVEY DONE BY RICHARD E. STOCKTON N.J. P.L.S. LIC. No. 15102, DATED 04/12/2019.

LICENSED SURVEYOR TO VERIFY SETBACKS, PROPERTY LINES AND SET PROPER FIRST FLOOR ELEVATION AND CORNERS OF BUILDING PRIOR TO CONSTRUCTION

	<u>ZO</u> N	ING DATA (1	R-2)	
ITEM	REQUIRED	EXISTING	PROPOSED	NOTES
ΞA	15 <i>,000</i> SQ. FT.	16,033 SQ. FT.	N/C	
NTAGE	100 FT.	78 FT.	N/C	PRE-EXISTING NON CONFORMITY
Ϋ́́́Н				
DING				
IT SETBACK	25 FT.	99 FT.	N/C	
R БЕТВАСК	3Ø FT.	11.6 FT.	11.6/24.9 FT.	PRE-EXISTING NON CONFORMITY INTENSIFIED IST FLOOR - VARIANCE REQUIRED
SETBACK (ONE/BOTH)	15/30 FT.	10.3/31.3 FT.	10.3/31.3 FT. EX. 11.6/32.6 FT. AD.	PRE-EXISTING NON CONFORMITY INTENSIFIED TWO STORY ADDITION - VARIANCE REQUIRED
G HEIGHT (STORIES/FT.)	2.5/35 FT.	1/12.5 FT.	2/32 FT.	
_DING				
R SETBACK	5 FT.	N/A	N/C	
SETBACK	10 FT.	N/A	N/C	
G HEIGHT (STORIES/FT.)	1/16 FT.	N/A	N/C	
IG COVERAGE	15 %	15.62 %	23.12 %	PRE-EXISTING NON CONFORMITY INTENSIFIED VARIANCE REQUIRED
VERAGE	40 %	21.5 %	29 %	
AREA RATIO	Ø.35	Ø.13	Ø.3Ø	







INS	TRUCTIONS TO		TORS:						
co	NDITIONS AS TH	EY EXIST. ,	ALL AREAS AND D	IMENSIONS	ED WORK AND FULLY ARE INDICATED ON BY EACH CONTRACT	THE DRAWIN	NGS AS ACCURATEL	T AS	E 1.
с0 с0	NDITIONS AS TH NSTRUCTION CO	EY EXIST A STS.) THE C	T THE SITE. (NOTE: CONTRACTOR SHAL	SQUARE F	E CONTRACTOR HAS F FOOTAGE DATA NOT ALL CONDITIONS AND	DIMENSION	FOR CALCULATING	NOTIFY THE	2
NEO LO ND	CESSARY TEMP AD SYSTEMS. TIFY THE ARCHI AWINGS PRIOR	ORARY SUP DRAWINGS A TECT IN WRI TO COMMEN	PORTS FOR WALLS ARE NOT TO BE SC TING OF ALL DISCR ICEMENT OF ANY SU	AND FLOC ALED, WRI ⁻ REPANCIES ICH WORK.	ANY DISCREPANCIES DRS PRIOR TO THE CO ITEN DIMENSIONS TAK ERRORS OR OMISSIO ALL RECONSTRUCTION HALL BE AT THE CON	OMPLETION (E PRECED ONS INDICA ON COSTS, 1	OF LATERAL AND V ENCE. THE CONTRA TED ON THE CONSTR RESULTING FROM THE	PERTICAL CTOR SHALL RUCTION E	3
С <i>О</i> 6Н,	NSTRUCTION DR ALL HOLD HARI	AWINGS AND MLESS THE A	D TO FURTHER COM ARCHITECT AND OU	IPLY WITH , INER FROM	CE UPON THE PROPER ALL REGULATIONS CO 1 AND AGAINST ALL O ANCE OF THE WORK E	DNCERNING CLAIMS, DAI	SUCH SITING. THE C MAGES, LOSSES AND		4
	ESE DRAWINGS , PYRIGHT PROTI			DNY M. CON	NDOURIS ARCHITECT,	INC. THEY	ARE PROTECTED UN	NDER THE	5
P	ROJECT DATA:	<u>-</u>							
USE	EGROUP: R-5	CONSTRUCTI	ION CLASSIFICATIO	N: 5B (OR	REFER TO COVER S	HEET)			E
AP	PLICABLE COD	ES: NJ IRC	2021, REHABILITA	TION SUBC	ODE NJUCC NJAC 5:23	3-6 AND AL	L LOCAL CODES		1.
STF	RUCTURAL DATA	4: (LOADS IN	NDICATED IN POUN	DS PER SC	RUARE FOOT AND USE	D TO DESI	GN STRUCTURAL MEM	1BERS)	
	<u>PICAL FLOOR</u> - ⁄e load	40	<u>BEDROOM FLOOI</u> LIVE LOAD	<u>₹</u> - 3Ø	<u>Attic W/Storag</u> Live Load	E- 2Ø	<u>Attic W/NO Stof</u> Live load	<u>RAGE</u> - 10	2
	AD LOAD TAL LOAD	15 55	DEAD LOAD TOTAL LOAD	15 45	DEAD LOAD TOTAL LOAD	10 30	DEAD LOAD TOTAL LOAD	1Ø 2Ø	2
			DECKS-		BALCONIES-				3
	Æ LOAD Ad Load	20 15	LIVE LOAD DEAD LOAD	40 15	LIVE LOAD DEAD LOAD	60 15			4
	TAL LOAD AN S OF EGRE S	35 99.	TOTAL LOAD	55	TOTAL LOAD	75			5
									r
			·		E DESIGNED AND SP	ECIFIED TO	COMPLY WITH NJ IR	C 2021	1
			E LESS THAN 36" WI						1.
2.	AND BELOW TH	HE REQUIRE	D HEADROOM HEIC	HT. HEAD	DTH AT ALL POINTS , PROOM HEIGHT IN STA D DEPTH SHALL BE 1	IRWAYS SH,	ALL BE NOT LESS TH		2
3.	FOUR OR MOR TREAD NOSING CONTINUITY, HA DIRECTLY ABO HANDRAIL ENT ADJACENT TO	E RISERS, H G, OR FINISH ANDRAILS FO OVE THE TO DS SHALL B A WALL SH,	HANDRAIL HEIGHT I SURFACE OF RAMF OR STAIRWAYS SHA PRISER OF THE FL E RETURNED OR S ALL HAVE A SPACE	S MEAGUR SLOPE, S LL BE CO LGHT TO A HALL TERM E OF NOT L	ONE SIDE OF EACH C ED VERTICALLY FROI DHALL BE NOT LESS T INTINUOUS FOR THE FU POINT DIRECTLY AB 11NATE IN NEWEL POS LESS THAN 1 1/2 INCHE D BY A NEWEL POST	M THE SLOF "HAN 30" AN LL LENGTH SOVE THE L TS OR SAFE S BETWEEN	PED PLANE ADJOINI ND NOT MORE THAN OF THE FLIGHT, FRO OWEST RISER OF THE TY TERMINALS, HAN THE WALL AND THE	NG THE 38". M A POINT E FLIGHT. DRAILS	3
4.	THAT ARE LOC 36" HORIZONT, INCLUDING STA	CATED MORI ALLY TO THE AIRS, PORCH	E THAN 30" MEASUR E EDGE OF THE OF HES, BALCONIES OF	RED VERTI PEN SIDE. R LANDING:	LKING SURFACES, INCL CALLY TO THE FLOOF GUARDS ARE REQUIR S, SHALL BE NOT LES OR THE LINE CONN	R OR GRAD RED AT OPE 96 THAN 36'	DE BELOW AT ANY P EN-SIDED WALKING S ' IN HEIGHT AS MEAS	OINT WITHIN BURFACES, BURED	
5.	SHALL BE NOT MEASURED IN NOT MORE THA ON THE EXTER DOES NOT SWI DOOR SHALL WITH THE EXCE	TLESS THAN THE DIRECT AN 1-1/2" LOW RIOR SIDE SI NG OVER TH BE PROVID EPTION THAT	N THE DOOR SERVE TION OF TRAVEL. LA JER THAN THE TOP HALL BE NOT MORI HE LANDING OR FLO ED WITH LANDINGS T A TOP LANDING I	ED. EVERY ANDINGS O OF THE TH E THAN 8-1 DOR. FLOO OR FLOOF 6 NOT REG	E OF EACH EXTERIOR LANDING SHALL HAV R FINISHED FLOORS A RESHOLD, WITH THE E 1/4" BELOW THE TOP O R ELEVATIONS FOR D RS NOT MORE THAN 8 DUIRED WHERE A STAI ADED THAT THE DOO	E A DIMENS AT THE REG EXCEPTION OF THE THR OORS OTH -1/4" BELOU RWAY OF N	SION OF NOT LESS TH QUIRED EGRESS DOC THAT THE LANDING O ESHOLD PROVIDED ER THAN THE REQUIN U THE TOP OF THE TH OT MORE THAN TWO	HAN 36" DR SHALL BE OR FLOOR THE DOOR RED EGRESS HRESHOLD, RISERS IS	= 1. 2 3
<u>SF</u>	ECIFICATION S	ECTIONS							Ĺ
	VISION 1 - GEN	ERAL REQU	JIREMENTS						1.
<u>SU1</u>	1MARY OF WOR	<u><</u>							
1	IT GUALL BE T				NUTY TO PROVIDE A		MATERIALS FOUR	ENT AND	

- SERVICES FOR COMPLETE ERECTION, FABRICATION, INSTALLATION, TESTING AND PROPER OPERATION OF THE PROJECT AS DESCRIBED BY THE FOLLOWING CONTRACT DOCUMENTS. PROVIDE ALL ITEMS OF LABOR OR MATERIALS NOT SPECIFICALLY INDICATED, BUT REQUIRED TO COMPLETE THE
- INTENDED INSTALLATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK UNTIL ITS COMPLETION AND FINAL ACCEPTANCE, AND IN THE EVENT OF ANY DAMAGE, SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT TO THE APPROVAL OF THE CLIENT AND IN A TIMELY EASHION

SUMMARY OF DRAWING AND CONTRACT INTERPRETATION

- THESE CONTRACT DRAWINGS HAVE BEEN DESIGNED TO BE INTERPRETED BY A QUALIFIED CONTRACTOR.
- 2. DIMENSIONS ARE FACE OF STUD TO FACE OF STUD UNLESS OTHERWISE NOTED.
- 3. DO NOT SCALE PRINTS FOR DIMENSIONS.
- 4. DETAILS DRAWN OF A PARTICULAR ASSEMBLY ARE INTENDED TO REPRESENT ALL SIMILAR CONDITIONS THROUGHOUT THE BUILDING.
- 5. LARGE SCALE DRAWINGS SHALL GOVERN SMALL SCALE DRAWINGS, WHICH THEY ARE INTENDED TO AMPLIFY.
- 6. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS. NO DEVIATION, OMISSION, SUBSTITUTION, OR ADDITIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL AND OR /AUTHORIZATION BY THE ARCHITECT OR OWNER. ALL QUESTIONS AND DIRECTIONS SHALL BE THROUGH THE ARCHITECT. ALL DISCREPANCIES AND/OR FIELD CONDITIONS, WHICH ARE IN CONFLICT WITH THE DIRECTIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.
- 1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCY PRIOR TO THE START AND COMPLETION OF WORK.
- 8. THE CONTRACT DOCUMENTS ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND ARE INTENDED FOR THE USE IN THIS PROJECT ONLY. THE EXCLUSIVE CLIENTSHIP AND USE OF THESE PLANS AND SPECIFICATIONS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS INCLUDING "ARCHITECTURAL WORKS COPYRIGHT ACT OF 1990." PROJECT COORDINATION

GENERAL CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL SUBCONTRACTORS INCLUDING THOSE CONTRACTED DIRECTLY BY THE OWNER.

REGULATORY REQUIREMENTS

- 1. THESE CONTRACT DOCUMENTS WERE PREPARED IN ACCORDANCE WITH THE NJ IRC 2021.
- 2. CONTRACTOR SHALL APPLY FOR THE CONSTRUCTION PERMITS, CERTIFICATE OF OCCUPANCY/AUTHORIZATION AND ALL OTHER PERMITS OR INSPECTIONS REQUIRED. IN ADDITION, ALL OTHER UTILITY HOOK-UPS AND INSPECTION FEES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL, AT ALL TIMES DURING CONSTRUCTION, KEEP THE SITE CLEAN AND MINIMIZE THE ACCUMULATION OF DEBRIS AND TRASH. ALL DEBRIS SHALL BE KEPT IN A DUMPSTER OR OTHER CONTAINMENT WITH SIDES AND BOTTOM ON THE PROPERTY. AT NO TIME SHALL DEBRIS BE ALLOWED TO ENCROACH ONTO NEIGHBORING PROPERTIES OR STREETS. IN THE CASE OF STORM OR HIGH WINDS, IT IS THE CONTRACTORS RESPONSIBILITY TO COVER AND PROTECT ALL EXPOSED STRUCTURES AND PREVENT ANY DEBRIS OR BUILDING MATERIAL FROM ENTERING THE SURROUNDING COMMUNITY. ALL CONSTRUCTION MATERIALS AND EQUIPMENT SHALL BE LIMITED TO THE CONSTRUCTION SITE,
- 4. SUBMISSION OF BID AND CHANGE ORDERS. THE CONTRACTOR AGREES THAT THE SUBMITTED BID ALONG WITH ALLOWANCE AND ALTERNATE PRICES FOR THIS PROJECT IS THE TOTAL PRICE AS PER THE DATED PLANS AND SPECIFICATION ALONG WITH ANY ADDENDUMS WHICH SHALL BE NOTED AND RECEIVED IN THE SUBMISSIONS. ANY REQUESTS FOR CHANGE ORDERS THAT WOULD INCREASE OR DECREASE THE CONTRACT PRICE MUST BE ISSUED BY THE ARCHITECT WITHIN (7) DAYS. THE CHANGE ORDER, IF ACCEPTED, WILL BE ISSUED TO THE CONTRACTOR IN WRITING AND SIGNED BY THE CLIENT WITHIN (5) DAYS. IF THE CLIENT DOES NOT ACCEPT THE CHANGE ORDER AS QUOTED BY THE CONTRACTOR, THE CLIENT WILL NOTIFY THE CONTRACTOR WITHIN (5) DAYS. NO CHANGES TO THE CONTRACT PRICE, EITHER INCREASED OR DECREASED, WILL BE ACCEPTED WITHOUT A WRITTEN AND ACCEPTED CHANGE ORDER AS DESCRIBED BELOW.

TEMPORARY FACILITIES

- GENERAL CONTRACTOR SHALL PROVIDE APPROPRIATE FACILITIES INCLUDING TEMPORARY FENCING, TARPAULINS, TEMPORARY UTILITIES, TELEPHONE AND SANITARY FACILITIES IN ACCORDANCE WITH LOCAL ORDINANCES AS NEEDED
- PREMISES SHALL BE MAINTAINED IN A REASONABLE NEAT AND ORDERLY CONDITION AND KEPT FREE FROM ACCUMULATION OF RUBBISH DURING THE CONSTRUCTION PERIOD. REMOVE CRATES, CARTONS, AND OTHER FLAMMABLE WASTE MATERIALS OR TRASH FROM THE WORK AREA AT THE END OF EACH WORKING DAY. 3. CONTRACTOR SHALL SCHEDULE AND PROVIDE FINAL CLEANING UPON COMPLETION OF THE PROPOSED WORK
- INCLUDED IN THE CONTRACT DOCUMENTS TO ENABLE THE OWNER TO ACCEPT THE PROJECT AT THE LEVEL OF CLEANLINESS GENERALLY PROVIDED BY SKILLED CLEANERS USING COMMERCIAL QUALITY MAINTENANCE EQUIPMENT. REMOVE ALL TOOLS, SURPLUS MATERIALS, EQUIPMENT, DEBRIS AND WASTE FROM THE SITE. EXTERIOR DECKS SHALL BE BROOM CLEAN.

PROJECT CLOSE OUT

- CONTRACTOR SHALL PROVIDE AT TIME OF REQUEST FOR FINAL PAYMENT, ALL MANUFACTURERS BULLETINS, CUTS, ALL GUARANTEES AND WARRANTIES ISSUED FOR ALL EQUIPMENT AND SYSTEMS INCORPORATED IN THE WORK. WARRANTIES AND BONDS. THE CONTRACTOR SHALL GUARANTEE ALL LABOR AND MATERIALS USED IN THIS PROJECT
- FOR A PERIOD OF (1) YEAR COMMENCING FROM THE DATE OF THE ISSUANCE OF THE CERTIFICATE OF SUBSTANTIAL COMPLETION OR THE OWNERS FINAL PAYMENT FOR CONSTRUCTION. ANY DEFICIENCIES THAT BECOME EVIDENT DURING THIS (1) YEAR PERIOD SHALL BE CORRECTED AT THE CONTRACTORS EXPENSE.
- 3. HOME OWNER WARRANTY. AT THE TIME OF CLOSING, CONTRACTOR SHALL PROVIDE THE OWNER A NEW HOME WARRANTEE AND BUILDERS REGISTRATION ACT (NJAC 5:25).
- 4. RELEASE OF LIENS: CONTRACTOR TO PROVIDE AT TIME OF REQUEST FOR FINAL PAYMENT, A RELEASE OF LIENS.

<u>DIVISION 2 - SITE WORK</u>

- EROSION
- REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE.
- AS PER THE TOWNSHIP'S REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE FOR FINISH GRADING ON LOT PRIOR TO ISSUANCE OF CO AS REQUIRED, AS WELL AS PREVENT EROSION.
- <u>DIVISION 3 CONCRETE</u>
- MADE WITH NORMAL WEIGHT STONE AGGREGATE UNLESS OTHERWISE NOTED.
- MOVEMENT OF LIQUIDS TOWARD THE MAIN VEHICLE ENTRY DOORWAY
- REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 GRADE 60 AND OF THE SIZE INDICATED IN THE DRAWINGS.

DIVISION 4 - MASONRY

- CONSTRUCTION AND COMMENTARY" LATEST EDITION. MASONRY UNITS SHALL BE GRADE N, TYPE I, MEDIUM WEIGHT HOLLOW CONCRETE UNITS CONFORMING TO THE

- STRUCTURAL ENGINEER.

DIVISION 5 - METALS

- STEEL
- SHALL CONFORM TO ASTM STANDARDS.
- STRUCTURAL PIPE SHALL CONFORM TO ASTM A500 TYPE S GRADE B. STRUCTURAL TUBING SHALL CONFORM TO ASTM A500.
- ANCHOR BOLTS
- INCHES INTO CONCRETE OR MASONRY .
- FASTENERS AND CONNECTIONS
- "SIMPSON" STRONG-TIE WALL BRACING.

- SPECIFICATIONS.
- RECOMMENDED DETAILS.
- FIXTURES,
- 6. COLLAR TIES: INSTALL COLLAR TIES WHEN NOT NOTED ON PLANS, IN ATTIC AREAS A MINIMUM 2X4 SPACED AT 32" O.C.

- APA RATED. NO SUBSTITUTIONS ACCEPTED.
- 10. SHEATHING AND SUBFLOOR NAILING: ALL PLYWOOD SHEATHING AND SUB-FLOORING SHALL BE NAILED WITH 8D

- 13. HEADERS: (UNLESS OTHERWISE NOTED)

2'-Ø" - 3'-11" SPAN: (2)2×8 4'-0" - 5'-11" SPAN: (2) 2×10 6'-0" - 7'-11" SPAN: 3 1/2 X 9 1/2 2,0E PARALLAM PSL 8'-0" - 10'-0" SPAN: 3 1/2 × 11 7/8 2.0E PARALLAM PSL

- DIVISION 1 THERMAL AND MOISTURE PROTECTION
- FLOORS IN ACCORDANCE WITH IRC.
- SPECIFICATIONS,
- QUALITY PAINTABLE LATEX CAULK.

CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING SITE AS REQUIRED FOR THE INTENDED WORK. ALL TREES, STUMPS, AND PLANT MATERIALS SHALL BE REMOVED. TOPSOIL REMOVED SHALL BE STORED AND PROTECTED FROM EXCESSIVE

PRIOR TO CONSTRUCTION, A SILT FENCE SHALL BE ERECTED AROUND THE PERIMETER OF SITE DISTURBANCE. FENCE MUST THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ANY AND ALL DEMOLITION DEBRIS

RESULTING FROM THE ADDITIONS AND ALTERATIONS AS OUTLINED IN THESE SPECIFICATIONS AND ON THE CONTRACT DRAWINGS. ALL DEMOLITION DEBRIG AND CONSTRUCTION DEBRIG SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE

THE RESTORATION OF THE PROPERTY TO THE CONDITION FOUND PRIOR TO CONSTRUCTION UNLESS SPECIFICALLY NOTED OR REQUESTED BY THESE SPECIFICATIONS OR ADDENDUM. ALL GRADING SHALL BE INCLUDED IN THE BASE BID. ALSO INCLUDED SHALL BE THE RE-SEEDING OF ALL GRADED AREA AND THE PLACEMENT OF SALT HAY OVER THE SEED TO

ALL EXISTING UTILITIES SHALL BE LOCATED, INCLUDING ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION DURING THE CONSTRUCTION PROCESS INCLUDING EARTHWORK OPERATIONS. ANY DISTURBANCES OR BREAKAGE OF UNCHARTED UTILITIES SHALL BE REPORTED TO THE PROPER AUTHORITIES FOR REPAIR. ANY DAMAGE ASSOCIATED WITH STOPPAGE OF ANY UTILITY IS THE RESPONSIBILITY OF THE CONTRACTOR.

ALL CONCRETE FOR GARAGE FLOORS OR PORCHES EXPOSED TO THE WEATHER SHALL BE A MINIMUM 3.500 PSI. ALL CONCRETE FOR FOUNDATION WALLS SHALL BE A MINIMUM 3,000 PSI. (ULTIMATE COMPRESSIVE STRENGTH AT 28 DAYS), THE AREA OF FLOOR USED FOR PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE

ALL GROUT SHALL BE NON-SHRINK WITH A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 WITH A MINIMUM ULTIMATE TENSILE STRENGTH OF 10,000 PSI.

CONCRETE MASONRY UNIT. FOUNDATION SHALL BE AS PER DRAWINGS. ALL CMU SHALL BE PLACED AS PER APPLICABLE CODES AND REGULATIONS WITH REINFORCING AS PER DETAILS AND MANUFACTURERS SPECIFICATIONS. PROVIDE HORIZONTAL REINFORCEMENT EVERY OTHER COURSE AND VERTICAL REBAR AS NOTED ON DRAWINGS.

DESIGN AND CONSTRUCTION SHALL CONFORM WITH THE NATIONAL CONCRETE MASONRY ASSOCIATION AND THE AMERICAN CONCRETE INSTITUTE (ACI 530-08) AS WELL AS THE 'BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY

REQUIREMENTS OF ASTM C30. UNITS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (F'm) OF 1500 PSI ON THE NET CROSS SECTIONAL AREA AT 28 DAYS, UNITS SHALL NOT BE INSTALLED PRIOR TO ATTAINING THE REQUIRED 28 DAY STRENGTH. MORTAR SHALL CONFORM TO ASTM C270, TYPE M OR 5. ALL PORTLAND CEMENT SHALL CONFORM TO ASTM C150, TYPE LIME SHALL CONFORM TO ASTM C201 AND MASONRY CEMENT SHALL CONFORM TO ASTM C91. REINFORCEMENT BARS SHALL CONFORM TO ASTM A615-08, GRADE 60. REINFORCEMENT BARS SHALL NOT BE TACK

WELDED, WELDED, HEATED OR CUT UNLESS INDICATED ON THE CONTRACT DOCUMENTS OR APPROVED BY THE

ALL STEEL SHALL BE A392-50 AND CONFORM TO ASTM STANDARDS. ALL PIECES SHALL BE MANUFACTURED AS PER DETAILS. ALL STEEL SHALL BE INSTALLED AS PER DETAILS ON THE FRAMING PLANS. THERE SHALL BE NO DEVIATION FROM THE SUPPORT TYPES, OR SUBSTITUTIONS FOR ANY STEEL WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

STRUCTURAL STEEL USED FOR, BUT NOT LIMITED TO LINTELS, BEAMS, TRANSFER BEAMS, FLITCH PLATES, AND COLUMNS

ANCHOR BOLTS SHALL BE CORROSION RESISTANT AND COMPATIBLE WITH SILL MATERIAL, A30T STEEL, UNLESS OTHERWISE INDICATED. ANCHOR BOLTS SHALL BE NOT LESS THAN 1/2" DIAMETER AND SPACED AS NOTED IN THE FOLLOWING CONSTRUCTION DOCUMENTS. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NOT MORE THAN 12 INCHES FROM EACH END, AND NOT LESS THAN I INCHES FROM THE END OF THE PLATE SECTION. BOLTS CHALL BE LOCATED IN THE MIDDLE THIRD OF THE WIDTH OF THE PLATE. BOLTS SHALL BE EMBEDDED AT LEAST T

REFERENCE TABLE R602.3(1) FASTENING SCHEDULE OF NJ IRC 2021.

ALL COMMON FINISH NAILS AND HANGERS THAT COME IN CONTACT WITH COPPER PRESERVATIVES SUCH AS, BUT NOT _IMITED TO, PRESSURE TREATED., SHALL BE "HOT DIPPED GALVANIZED," "Z-MAX," OR "STAINLESS STEEL" IN ACCORDANCE WITH ASTM A123 AND ASTM A153. ALL OTHER FASTENERS SHALL BE "HOT DIPPED GALVANIZED. ZINC COATED NAILS MAY 3E SUBSTITUTED FOR USE WITH PNEUMATIC NAILS BUT MUST BE APPROVED FOR THIS AREA AND APPROVED BY THE BUILDING INSPECTORS OF THE AREA. SIDING NAILS SHALL BE NO.7 MAZE OR APPROVED EQUAL. PROVIDE "SIMPSON HOT DIPPED GALVANIZED" METAL JOIST, BEAM HANGERS AND HURRICANE CLIPS AND TIES AS INDICATED ON FRAMING PLANS. CONTRACTOR SHALL INSTALL "SIMPSON" HURRICANE CLIPS AND TIES ON ALL RAFTERS OR FLAT ROOF JOISTS. AND IF PILINGS ARE USED, ON ALL FIRST FLOOR JOIST TO GIRDER BAND CONNECTIONS. FOR 2"X6" STUD WALLS, PROVIDE

DIVISION 6 - WOOD, PLASTICS AND COMPOSITES

REFERENCE STANDARD: WOOD FRAME CONSTRUCTION MANUAL (LATEST EDITION), NATIONAL FOREST PRODUCTION ASSOCIATION, TIMBER CONSTRUCTION MANUAL (LATEST EDITION), AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.

FRAMING LUMBER: ALL FLOOR JOISTS, CEILING JOISTS, ROOF RAFTERS, WINDOW AND DOOR HEADERS, AND GIRDERS THAT ARE NOT EXPOSED SHALL BE <u>DOUGLAS FIR GRADE No.2</u> OR BETTER. ALL LAMINATED VENEER LUMBER (LVL) MEMBERS SHALL HAVE A FIBER STRESS OF 2,600 PSI AND PARALLEL STRAND LUMBER (PSL) MEMBERS SHALL HAVE A FIBER STRESS OF 2,900 PSI AND SHALL BE MANUFACTURED BY "TRUS JOIST" OR BY AN APPROVED EQUAL AND INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. ALL GLUE LAMINATED WOOD BEAMS SHALL BE ARCHITECTURAL GRADE WITH A MINIMUM FIBER STRESS OF 2200 PSI AND INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. ALL FLOOR "!" BEAMS SHALL BE MANUFACTURED BY 'TRUS JOIST' OR APPROVED EQUAL AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS

3. PRESSURE TREATED LUMBER: ALL EXPOSED LUMBER SHALL BE <u>DOUGLAS FIR GRADE No.2</u> PRESSURE TREATED. ALL EXTERIOR FLASHING AND CONNECTORS SHALL BE COPPER, STAINLESS STEEL, HOT-DIP ZINC COATED OR NON-METALLIC TO PREVENT GALVANIC CORROSION FROM OCCURRING. ALL INSTALLATIONS SHALL COMPLY WITH THE MANUFACTURER'S

4. PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS, BASE CABINETS, VANITIES AND BATHROOM

5. BRIDGING: ALL BRIDGING SHALL BE FULL AND PLACED AT MID-SPAN OF JOIST SPAN WITH THE MAXIMUM DISTANCE BETWEEN BRIDGING AT 8'-O", AND AS PER "I-LEVEL" SPECIFICATIONS.

7. FIRE STOPPING: INSTALL FIRE STOPS OR BLOCKS TO PREVENT THE FREE PASSAGE OF FLAME THROUGH CONCEALED SPACES AS OUTLINED IN THE LATEST EDITION BUILDING CODE.

8. SHEATHING: ALL WALL SHEATHING SHALL BE 1/2" EXPOSURE 1. ALL ROOF SHEATHING SHALL BE 5/8" EXPOSURE 1 (CDX)

3. SUBFLOORING: ALL SUBFLOORING SHALL BE 3/4" T&G EXPOSURE 1 (CDX) APA RATED, GLUED AND NAILED.

GALVANIZED RING SHANK NAILS AT 6" ON CENTER AT EDGES AND 12" ON CENTER AT INTERMEDIATE SUPPORTS. ALLOW 1/8" SPACING AT PANEL ENDS AND EDGES AS RECOMMENDED BY THE APA.

11. GABLE WALLS: ALL GABLE WALLS WITH CATHEDRAL CEILINGS NEED TO CONSTRUCTED WITH BALLOON FRAMED STUDDING. 12. ALL BALLOON FRAMED WALLS OVER 10' IN HEIGHT SHALL BE CONSTRUCTED OF 2'X6" STUDDING SPACED 16" O.C.

14. DECK POSTS AND COLUMNS SHALL BE ATTACHED TO DECK BEAMS AND FOOTINGS BY MEANS OF A MANUFACTURED CONNECTION TO RESIST LATERAL DISPLACEMENT. DECK POST HEIGHTS SHALL BE AS FOLLOWS: 4X4 MAXIMUM & FEET TALL AND 6X6 MAXIMUM 14 FEET. (THIS IS MEASURED TO THE UNDERSIDE OF BEAM)

15. MINIMUM 2×8 P.T. NAILER, THRU-BOLTED TO BUILDING BOX WITH 1/2"+ GALVANIZED BOLTS AT 16" ON CENTER STAGGERED. LEDGER LOCK SCREWS MAY BE USED WHEN INSTALLED AS PER MANUFACTURE SPECIFICATIONS.

FOUNDATIONS: PROVIDE A MINIMUM OF 10 MIL. VAPOR BARRIER WITH JOINTS NOT LAPPED LESS THAN 6 INCHES UNDER ALL CONCRETE SLABS IN BASEMENTS AND UNDER ALL CONCRETE SLAB-ON-GRADE CONDITIONS BELOW LIVING SPACES. PROVIDE DAMPPROOFING ON THE EXTERIOR SURFACE OF ALL MASONRY FOUNDATION WALLS FROM TOP OF FOOTING TO ABOVE GROUND LEVEL. WHERE GROUNDWATER INVESTIGATION INDICATES THAT A HYDROSTATIC PRESSURE CONDITION EXISTS, PROVIDE A GROUNDWATER CONTROL SYSTEM IN ACCORDANCE WITH IRC, OR WATERPROOF ALL WALLS AND

2. WATER-RESISTIVE BARRIER: ALL EXTERIOR WALLS SHALL RECEIVE A COVERING OF 30 LBS, BUILDERS FELT PAPER PRIOR TO THE INSTALLATION OF ALL SIDING. BUILDERS FELT SHALL BE LAID UP ON THE EXTERIOR SHEATHING STARTING FROM THE LOWEST PART OF THE BUILDINGS. THERE SHALL BE A MINIMUM OF A 6" OVERLAP OF EACH LAYER OF FELT OR IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. "TYVEK WEATHERIZATION SYSTEM" MAY BE SUBSTITUTED FOR THE FELT PAPER IF INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. THE USE OF "TYVEK" TAPE FOR JOINTS MUST BE UTILIZED. ARCHITECT RESERVES THE RIGHT TO REJECT ANY INSTALLATION NOT IN ACCORDANCE WITH "TYVEK"

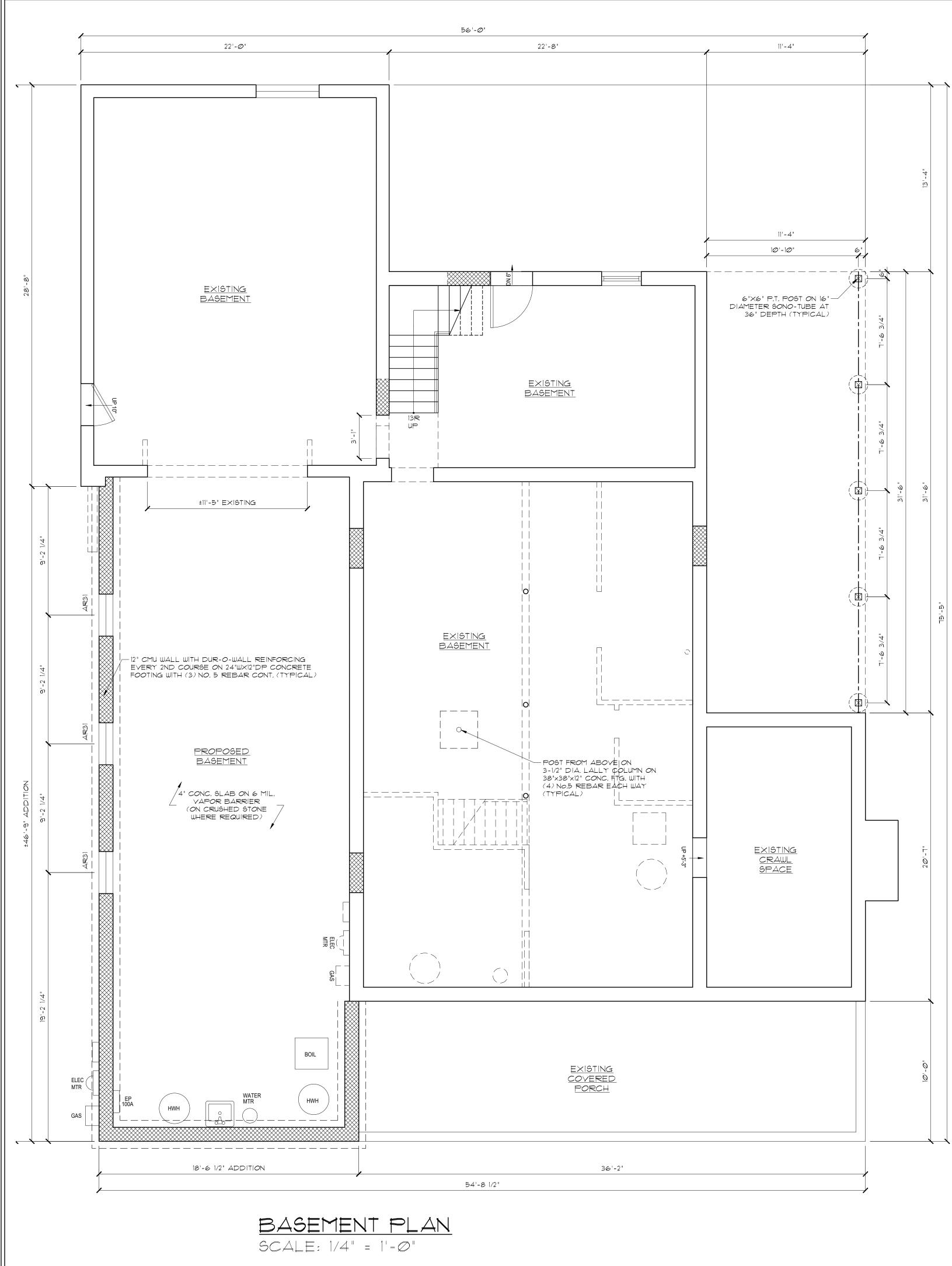
SEALANTS AND CAULKING: THROUGHOUT ALL WORK, SEAL AND CAULK ALL JOINTS AS REQUIRED TO PROVIDE AND MAINTAIN A POSITIVE BARRIER AGAINST THE PASSAGE OF MOISTURE AND AIR. TOOL ALL JOINTS TO A NEAT AND SMOOTH CONSISTENT PROFILE. SEAL ALL DOORS AND WINDOWS WITH A HIGH QUALITY CLEAR SILICONE SEALER AFTER THE SIDING HAS BEEN STAINED AND TOUCHED-UP. BACK CAULKING IS OPTIONAL. CAULK INTERIOR JOINTS AS REQUIRED WITH HIGH

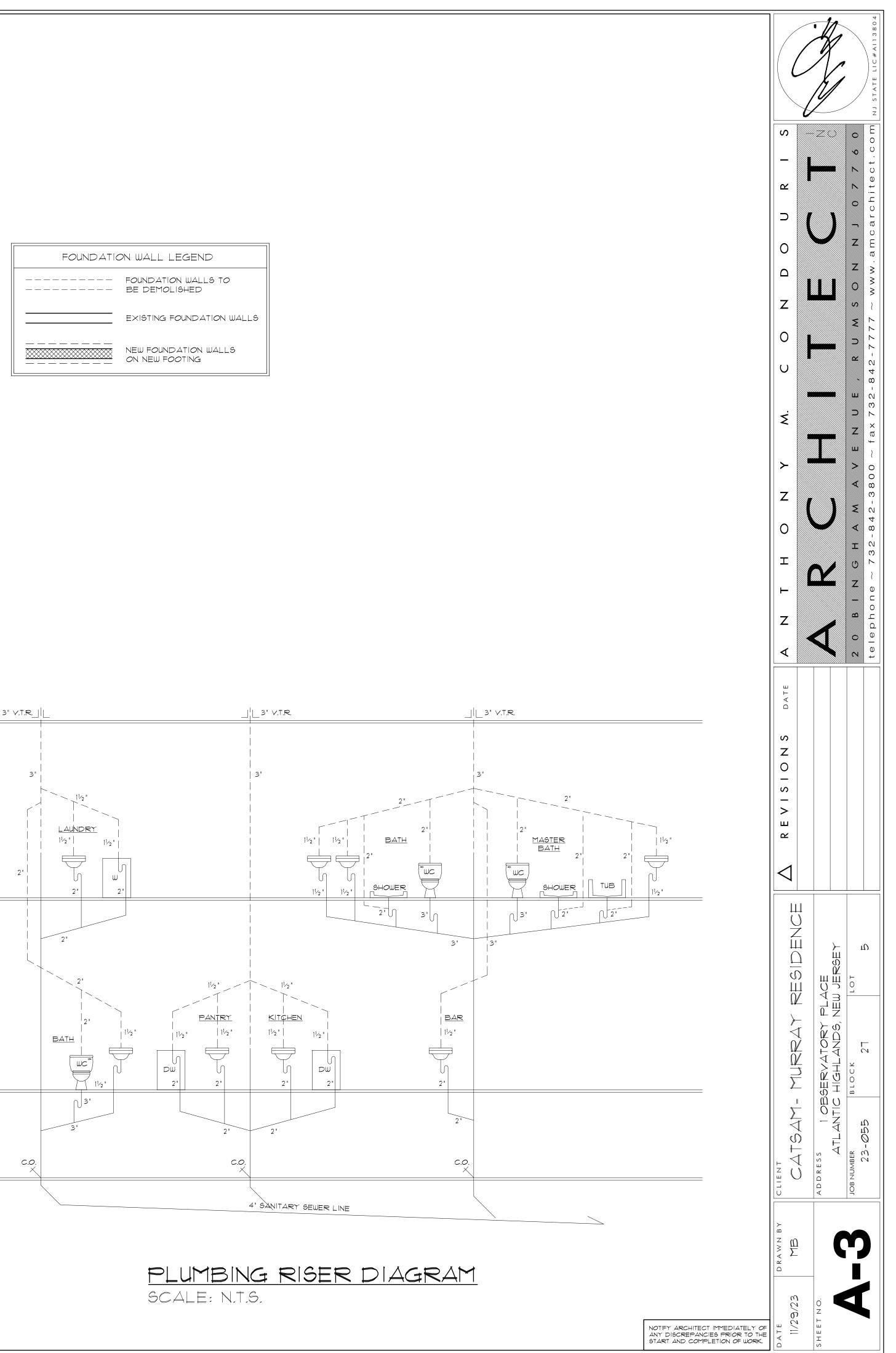
- ROOF SHINGLES: TO CONFORM TO NJ IRC 2021 REQUIREMENTS FOR ROOF COVERINGS. ALL SLOPED ROOFS 2:12 PITCH GREATER SHALL RECEIVE ASPHALT SHINGLE HEAVYWEIGHT. ROOFS PITCHED WITH 2:12 AND UP TO 4:12 SHALL HAVE COMPLETE LAYER OF ICE DAM PROTECTION INSTALLED. FOR ROOFS EAST OF THE 110 MPH WIND SPEED LINE, THE RO SHINGLES MUST CONFORM TO CLASS F OF ASTM D 3161 TEST METHOD FOR WIND RESISTANCE OF ASPHALT SHINGLES A: IRC R905.2.6.
- ICE DAM PROTECTION: AN ICE BARRIER THAT CONSISTS OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED OGETHER OR OF A SELF-ADHERING POLYMER BITUMEN SHEET, SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT EXTEND FROM THE EAVES EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. 6. ALL SLOPED RAFTERS SHALL BE VENTED AS PER PLANS. PROVIDE APPROVED HIGH WIND DRIVEN RAIN RESISTANT
- SHINGLE OVER RIDGE VENTS. 1. PROVIDE SEAMLESS ALUMINUM GUTTERS AND DOWNSPOUTS. PROVIDE CONCRETE SPLASH BLOCKS AT ALL LEADERS
- 8. INSULATION : IF A RESCHECK IS SUBMITTED WITH THESE CONSTRUCTION DOCUMENTS, THEN IT SUPERSEDES ALL THE FOLLOWING ITEMS. THE FOLLOWING ITEMS ARE IN COMPLIANCE WITH THE <u>PRESCRIPTIVE PACKAGE</u>: ALL EXTERIOR WITH THE PRESCRIPTIVE PACKAGE: ALL EXTERIOR WITH THE PRESCRIPTIVE PACKAGE ALL EXTERNOR WITH THE PACKAGE ALL EX BATT INSULATION WITH R-10 RIGID CONTINUOUS INSULATION ON THE EXTERIOR. ALL FLOORS BUILT OVER UNCONDITION SPACE SHALL RECEIVE A MINIMUM OF R-19 CRAFT FACE FIBERGLASS BATT INSULATION. ALL FLOOR SLABS BUILT ON SHALL RECEIVE A MINIMUM OF R-10 RIGID PERIMETER INSULATION, 24" IN BOTH DIRECTIONS. ALL CEILINGS SHALL RE A MINIMUM OF R-60 CRAFT FACE FIBERGLASS BATT INSULATION. WITH THESE ITEMS, THE WINDOWS SHALL HAVE A MINIM J-FACTOR OF 0.30 AND A MINIMUM SHGC OF 0.40. (INSULATION SHALL ALWAYS BE INSTALLED UNCOMPRESSED)
- 9. NJ IBC CHAPTER II ENERGY EFFICIENCY REQUIREMENTS: (R-VALUES SHALL FOLLOW RESCHECK) • ATTIC ACCESS HATCHES AND DOORS FROM CONDITIONED TO UNCONDITIONED SPACES SUCH AS ATTICS AND CRAWL SPACE SHALL BE INSULATED TO THE SAME R-VALUE OF THE WALL OR CEILING IN WHICH THEY ARE INSTALLED. • BASEMENT WALLS SHALL BE INSULATED. WHERE BASEMENT WALLS ARE INSULATED, THE INSULATION SHALL BE INSTA FROM THE TOP OF THE BASEMENT WALL DOWN TO THE BASEMENT FLOOR. •• THE EXCEPTION WOULD BE FOR UNCONDITIONED BASEMENTS, THE FLOOR OVERHEAD, INCLUDING THE UNDERSIDE STAIR LEADING THE BASEMENT, IS TO BE INSULATED.
- . ALL DUCTS BELOW THE FLOOR SHALL BE INSULATED. • SUPPLY AND RETURN DUCTS LOCATED OUTSIDE OF CONDITIONED SPACES SHALL BE INSULATED TO AN R-VALUE OF LESS THAN R-8 • DUCTS IN FLOOR CAVITIES OVER UNCONDITIONED SPACE SHALL HAVE A CONTINUOUS AIR BARRIER (SHEATHING) INSTAL BETWEEN UNCONDITIONED SPACE AND THE DUCT. DUCTS SHALL HAVE A MINIMUM R-19 INSULATION INSTALLED IN THE CAVITY I
- SEPARATING THE DUCT FROM UNCONDITIONED SPACE. • DUCTS LOCATED WITHIN EXTERIOR WALLS OF THE BUILDING THERMAL ENVELOPE SHALL HAVE A CONTINUOUS AIR BARRIER (SHEATHING) INSTALLED BETWEEN UNCONDITIONED SPACE AND THE DUCT, DUCTS SHALL HAVE A MINIMUM R-10 INSULATION INSTALLED IN THE CAVITY WIDTH SEPARATING THE DUCT FROM THE OUTSIDE SHEATHING. THE REMAINDER OF THE CAVITY INSULA SHALL BE FULLY INSULATED TO THE DRYWALL SIDE. • DUCTS PARTIALLY OR COMPLETELY BURIED IN CEILING INSULATION SHALL HAVE AN INSULATION VALUE OF NOT LES.
- R-8. AT ALL POINTS ALONG EACH DUCT, THE SUM OF THE CEILING INSULATION R-VALUES AGAINST AND ABOVE THE TOP OF THE AND AGAINST AND BELOW THE BOTTOM OF THE DUCT SHALL BE NOT LESS THAN R-19, EXCLUDING THE R-VALUE OF THE DUCT IN

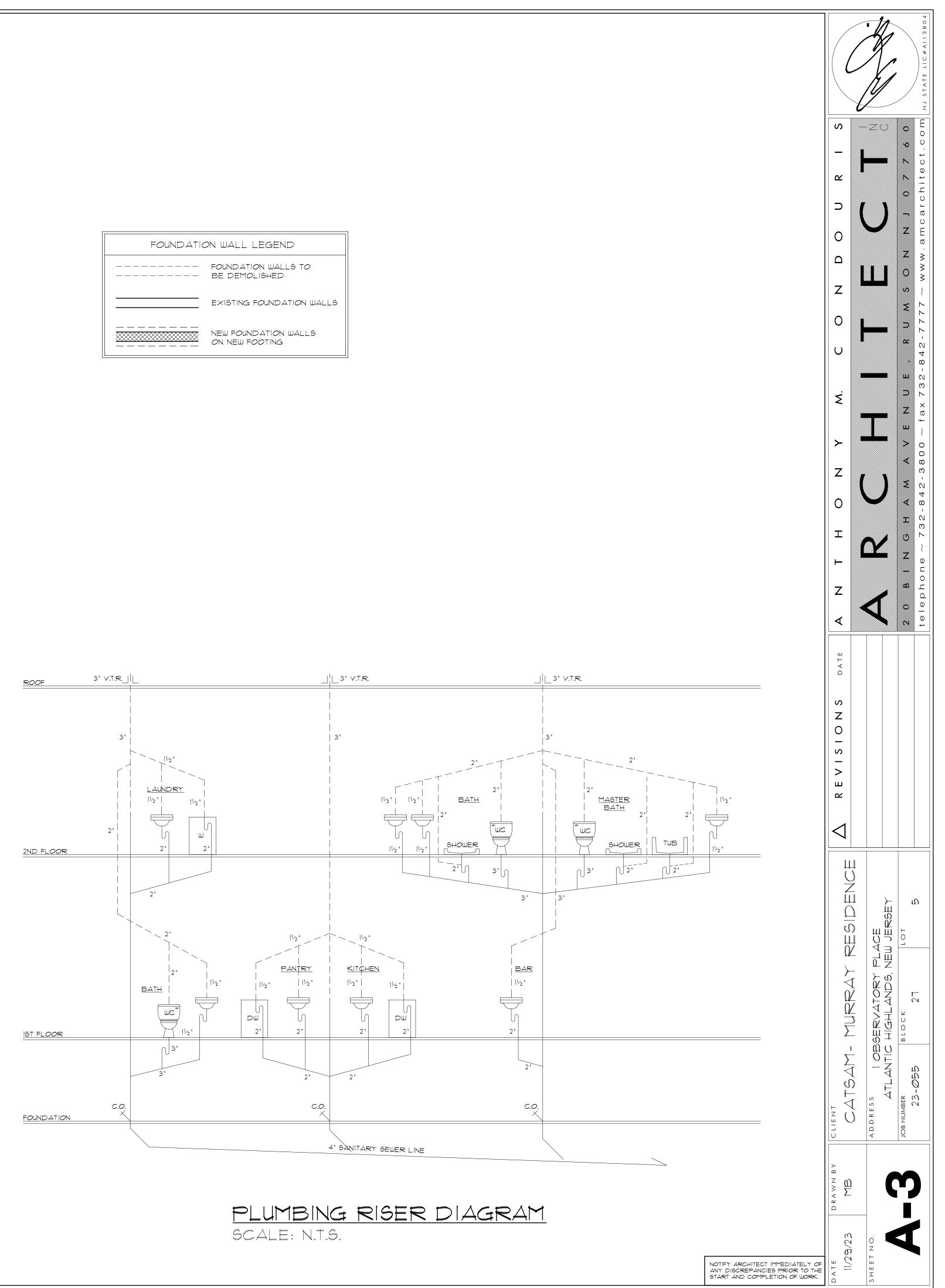
- ALL WINDOWS AND DOORS TO HAVE A MINIMUM U-FACTOR OF Ø.30 SKYLIGHTS TO HAVE A MINIMUM U-FACTOR OF Ø.55
- 2. ALL WINDOWS SPECIFIED AS ANDERSEN SERIES 400. ALL SUBSTITUTIONS TO BE VERIFIED BY BOTH ARCHITECT AND WHERE FIRE-RATED WINDOWS ARE REQUIRED AS NOTED ON OUR DRAWINGS, FIRE-RATED WINDOWS SHOULD BE 'FYRE-STEEL WINDOWS, SIZED TO MATCH ANDERSEN

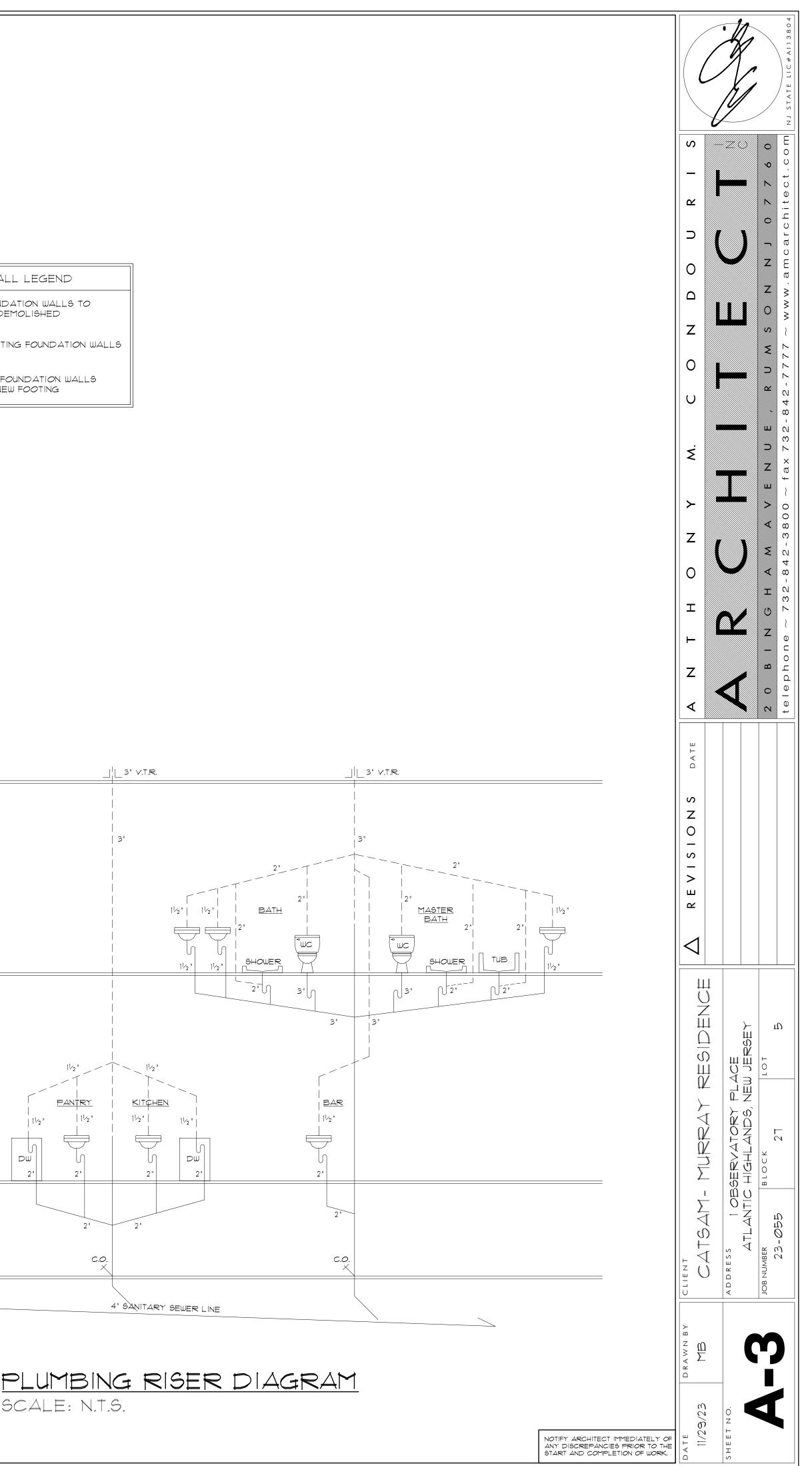
- ALL WINDOWS AND DOORS TO HAVE A MINIMUM SHGC OF Ø.40

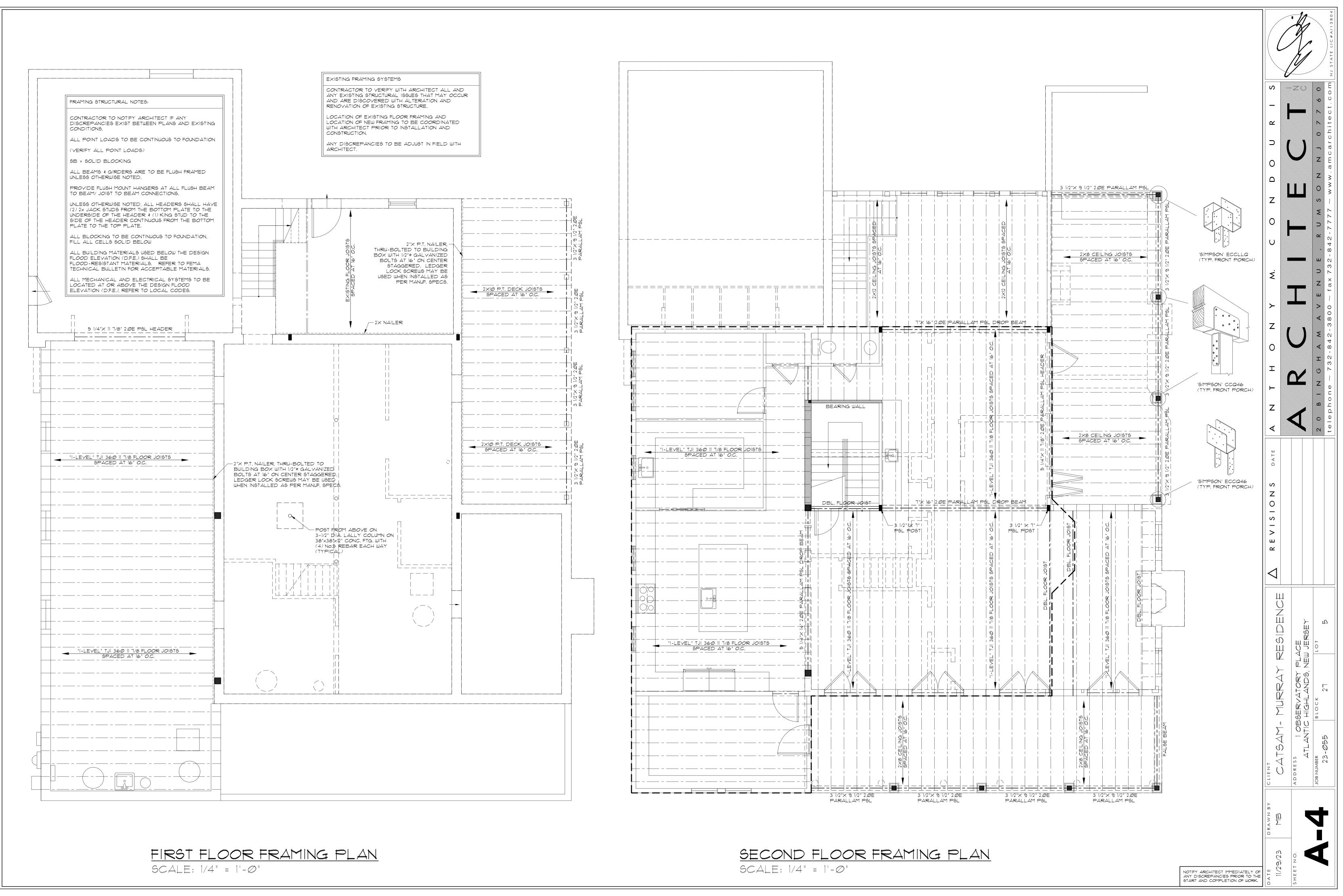
<u>N 7 - THERMAL AND MOISTURE PROTECTION (CONT.)</u> BHING AND SHEET METAL: REFERENCE STANDARD- ARCHITECTURAL SHEET METAL MANUAL (LATEST EDITION.) PROVIDE		FASTENING SCHEDULE	SPACING AND LOCATION
HING AND SHEET METAL NOT SPECIFICALLY DESCRIBED IN OTHER SECTIONS OF THESE SPECIFICATIONS BUT REQUIRED REVENT PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING. STANDARD COMMERCIAL ITEMS BE USED FOR FLASHING, TRIM REGLETS, AND SIMILAR PURPOSES PROVIDED SUCH ITEMS MEET OR EXCEED THE TY OF STANDARDS SPECIFIED. ALL FLASHING AND SHEET METAL MATERIALS SHALL BE LEAD COATED COPPER OF A	ITEM DESCRIPTION OF BUILDING ELEMENTS R BLOCKING BETWEEN CEILING JOISTS, RAFTERS OR TRUSSES TO TOP PLATE OR OTHER FRAMING	FASTENER OOF 4-8D BOX (2 ½'XØ.II3') OR 3-8D COMMON (2 ½'XØ.I3') OR 3-IØD BOX (3'XØ.I28') OR	TOE NAIL
SUITABLE FOR THE INTENDED INSTALLATION. ALL ROUGH HARDWARE INCLUDING NAILS, SCREWS, CLIPS, HANGERS, IALL BE STAINLESS STEEL TYPE 302/304. SHINGLES: TO CONFORM TO NJ IRC 2021 REQUIREMENTS FOR ROOF COVERINGS, ALL SLOPED ROOFS 2:12 PITCH AND	BLOCKING BETWEEN RAFTERS OR TRUSSES NOT AT THE WALL TOP PLATES, TO RAFTER OR TRUSS	2-8D COMMON (2 ½×0.131') OR 2-3'×0.131' NAILS	EACH END TOE NAIL
GLES: 10 CONFORT FOR THE 2021 REQUIRE LENTS FOR ROOFS PUTCHED WITH 2:12 AND UP TO 4:12 SHALL HAVE A SHALL RECEIVE ASPHALT SHINGLE HEAVYWEIGHT. ROOFS PITCHED WITH 2:12 AND UP TO 4:12 SHALL HAVE A E LAYER OF ICE DAM PROTECTION INSTALLED. FOR ROOFS EAST OF THE 110 MPH WIND SPEED LINE, THE ROOF MUST CONFORM TO CLASS F OF ASTM D 3161 TEST METHOD FOR WIND RESISTANCE OF ASPHALT SHINGLES AS PER	FLAT BLOCKING TO TRUSS AND WEB FILLER	2-16D COMMON (3 ½×0.162°) OR 3-3'×0.131' NAILS 16D COMMON (3 ½×0.162°) OR	END NAIL
PROTECTION: AN ICE BARRIER THAT CONSISTS OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED	2 CEILING JOIST TO TOP PLATE	3-3'×0.131' NAIL6 4-8D BOX (2 ¹ / ₂ '×0.113') OR 3-8D COMMON (2 ¹ / ₂ '×0.131') OR 3-10D BOX (3'×0.128') OR	PER JOIST, TOE NAIL
THER OR OF A SELF-ADHERING POLYMER BITUMEN SHEET, SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT AND IND FROM THE EAVES EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.	CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS (SEE SECTIONS R802.3.1,	3-3'×0.131" NAIL6 4-10D BOX (3'×0.128') OR 3-16D COMMON (3 3'×0.162') OR	FACE NAIL
BLOPED RAFTERS SHALL BE VENTED AS PER PLANS. PROVIDE APPROVED HIGH WIND DRIVEN RAIN RESISTANT BLE OVER RIDGE VENTS.	R802.5.2 AND TABLE R802.5.2(1)) 4 CEILING JOIST ATTACHED TO PARALLEL RAFTER (HEE) JOINT) (SEE SECTIONS R802.5.2 AND TABLE R802.5.2(1))	4-3*×0.131* NAIL6 TABLE R802.5.2(1)	FACE NAIL
DE SEAMLESS ALUMINUM GUTTERS AND DOWNSPOUTS, PROVIDE CONCRETE SPLASH BLOCKS AT ALL LEADERS. TION : IF A RESCHECK IS SUBMITTED WITH THESE CONSTRUCTION DOCUMENTS, THEN IT SUPERSEDES ALL THE	5 COLLAR TIE TO RAFTER, FACE NAIL	4-10D BOX (3"X0,128") OR 3-10D COMMON (3"X0,148") OR 4-3"X0,131" NAILS	FACE NAIL EACH RAFTER
UNITY THE RECEIPTED WITH THE COMPLIANCE WITH THE PRESCRIPTIVE PACKAGE : ALL EXTERIOR WALLS RECEIVE A MINIMUM OF R-30 CRAFT FACE FIBERGLASS BATT INSULATION OR R-13 CAVITY CRAFT FACE FIBERGLASS INSULATION WITH R-10 RIGID CONTINUOUS INSULATION ON THE EXTERIOR. ALL FLOORS BUILT OVER UNCONDITIONED	6 RAFTER OR ROOF TRUSS TO PLATE	3-16D BOX NAILS (3 ½*X0.135*) OR 3-12D COMMON NAILS (3*X0.148*) OR 4-10D BOX (3*X0.128*) OR	2 TOE NAILS ON ONE SIDE AND 1 TOE NAIL ON OPPOSITE SIDE OF EACH RAFTER OR TRUSS
RECEIVE A MINIMUM OF R-19 CRAFT FACE FIBERGLASS BATT INSULATION. ALL FLOOR SLABS BUILT ON GRADE RECEIVE A MINIMUM OF R-10 RIGID PERIMETER INSULATION, 24' IN BOTH DIRECTIONS. ALL CEILINGS SHALL RECEIVE MUM OF R-60 CRAFT FACE FIBERGLASS BATT INSULATION. WITH THESE ITEMS. THE WINDOWS SHALL HAVE A MINIMUM	1 ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS 0 ROOF RAFTER TO MINIMUM 2' RIDGE BEAM	4-3'×0,31' NAIL6 4-16D (3.1'×0,135') OR 3-10D COMMON (3.1/2'×0,148') OR 4-10D BOX (3'×0,128') OR	TOE NAIL
CHAPTER II ENERGY EFFICIENCY REQUIREMENTS: (R-VALUES SHALL FOLLOW <u>RESCHECK</u>) ACCESS HATCHES AND DOORS FROM CONDITIONED TO UNCONDITIONED SPACES SUCH AS ATTICS AND CRAWL SPACES		4-3'×0.31' NAILS 3-16D BOX (3 ½×0.35') OR 2-16D COMMON (3 1/2'×0.162') OR 3-10D BOX (3'×0.128') OR 3-3'×0.31' NAILS	END NAIL
BE INSULATED TO THE SAME R-VALUE OF THE WALL OR CEILING IN WHICH THEY ARE INSTALLED. EMENT WALLS SHALL BE INSULATED. WHERE BASEMENT WALLS ARE INSULATED, THE INSULATION SHALL BE INSTALLED. THE TOP OF THE BASEMENT WALL DOWN TO THE BASEMENT FLOOR.	8 STUD TO STUD (NOT A BRACED WALL PANELS)	ALL 16D COMMON (3 1/2"×0.162")	24" O.C. FACE NAIL
EXCEPTION WOULD BE FOR UNCONDITIONED BASEMENTS, THE FLOOR OVERHEAD, INCLUDING THE UNDERSIDE OF THE R LEADING THE BASEMENT, IS TO BE INSULATED. DUCTS BELOW THE FLOOR SHALL BE INSULATED.	3 STUD TO STUD AND ABUTTING STUD AT INTERSECTING	10D BOX (3'X0,128") OR 3'X0,131" NAIL6 16D BOX (3 1/2 X0,135") OR	16" O.C. FACE NAIL
Y AND RETURN DUCTS LOCATED OUTSIDE OF CONDITIONED SPACES SHALL BE INSULATED TO AN R-VALUE OF NOT IAN R-8. IN FLOOR CAVITIES OVER UNCONDITIONED SPACE SHALL HAVE A CONTINUOUS AIR BARRIER (SHEATHING) INSTALLED	WALL CORNERS (AT BRACED WALL PANELS)	3"×0,131" NAILS IGD COMMON (3 1/2"×0,162") IGD COMMON (3 1/2"×0,162")	16" O.C. FACE NAIL 16" O.C. EACH EDGE FACE NAIL
N UNCONDITIONED SPACE AND THE DUCT. DUCTS SHALL HAVE A MINIMUM R-13 INSULATION INSTALLED IN THE CAVITY WIDTH ATING THE DUCT FROM UNCONDITIONED SPACE. IS LOCATED WITHIN EXTERIOR WALLS OF THE BUILDING THERMAL ENVELOPE SHALL HAVE A CONTINUOUS AIR BARRIER	10 BUILT-UP HEADER (2" TO 2" HEADER WITH ½" SPACER)	16D BOX (3 ½*XØ.135*) 5-8D BOX (2 1/2*XØ.113*) OR	12" O.C. EACH EDGE FACE NAIL
G) INSTALLED BETWEEN UNCONDITIONED SPACE AND THE DUCT. DUCTS SHALL HAVE. A MINIMUM R-10 INSULATION IN THE CAVITY WIDTH SEPARATING THE DUCT FROM THE OUTSIDE SHEATHING. THE REMAINDER OF THE CAVITY INSULATION FULLY INSULATED TO THE DRYWALL SIDE.		4-8D COMMON (2 1/2'×0,131') OR 4-10D BOX (3'×0,128') 4-16D BOX (3 ½×0,135') OR 3-16D COMMON (3 1/2'×0,162') OR	
PARTIALLY OR COMPLETELY BURIED IN CEILING INSULATION SHALL HAVE AN INSULATION VALUE OF NOT LESS THAN ALL POINTS ALONG EACH DUCT, THE SUM OF THE CEILING INSULATION R-VALUES AGAINST AND ABOVE THE TOP OF THE DUCT, NST AND BELOW THE BOTTOM OF THE DUCT SHALL BE NOT LESS THAN R-19, EXCLUDING THE R-VALUE OF THE DUCT INSULATION.	12 ADJACENT FULL-HEIGHT STUD TO END OF HEADER	3-16D COMMON (3 1/2*×0.162*) OR 4-10D BOX (3*×0.128*) OR 4-3*×0.131* NAIL6 16D COMMON (3 1/2*×0.162*)	END NAIL
- OPENINGS	13 TOP PLATE TO TOP PLATE	10D BOX (3"X0.128") OR 3"X0.131" NAILS	12" O.C. FACE NAIL
DOWS AND DOORS TO HAVE A MINIMUM U-FACTOR OF 0.30 TS TO HAVE A MINIMUM U-FACTOR OF 0.55 DOWS AND DOORS TO HAVE A MINIMUM SHGC OF 0.40	14 DOUBLE TOP PLATE SPLICE	8-16D COMMON (3 1/×0,162*) OR 12-16D BOX (3 1/2*×0,135*) OR 12-16D BOX (3*×0,128*) OR 12-3*×0,131* NAILS	FACE NAIL ON EACH SIDE OF END JOINT (MINIMUM 24" LAP SPLICE LENGTH EACH SIDE OF END JOINT)
OWS AND DOORS TO HAVE A TIINITUIT SHOL OF 0.40 OWS SPECIFIED AS ANDERSEN SERIES 400. ALL SUBSTITUTIONS TO BE VERIFIED BY BOTH ARCHITECT AND OWNER. RE-RATED WINDOWS ARE REQUIRED AS NOTED ON OUR DRAWINGS, FIRE-RATED WINDOWS SHOULD BE 'FYRE-TEC'	15 BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	16D COMMON (3 1/2"×0.162") 16D BOX (3 1/2"×0.135") OR 3"×0.131" NAILS	16° O.C. FACE NAIL 12° O.C. FACE NAIL
ARE REQUIRED TO BE TEMPERED IF WINDOW GLAZING MEETS ANY OF THE CONDITIONS SPECIFIED IN IRC SECTION	6 BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL)	3-16D BOX (3 1/2'XØ.135') OR 2-16D COMMON (3 ½'XØ.162') 4-3'XØ.131' NAILS	16' O.C. FACE NAIL
O ARE REQUIRED TO DE TETTERED TE MINDOW GLAZING THEETS ANT OF THE CONDITIONS SPECIFIED IN TRO SECTION (HAZARDOUS LOCATIONS). OR WIDTHS AS NOTED ON CONTRACT DRAWINGS, ASSUME 6'-8" HEIGHT UNLESS NOTED ON CONTRACT DRAWINGS.	17 TOP OR BOTTOM PLATE TO STUD	4-8D BOX (2 ½XØ,113') OR 3-16D BOX (3 1/2'XØ,135') OR 4-8D COMMON (2 ½XØ,131') 4-10D BOX (3'XØ,128') OR	TOE NAIL
ALL DOOR STYLES WITH OWNER BEFORE CONSTRUCTION. AREA 'WINDOW' WELLS:		4-3'XØ.131' NAILS 3-16D BOX (3 ½'XØ.135') OR 2-16D COMMON (3 1/2'XØ.162') OR	END NAIL
MINIMUM SIZE. THE HORIZONTAL AREA OF THE AREA WELL SHALL BE NOT LESS THAN 9 SQUARE FEET,	18 TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	3-10D BOX (3"X0,128") OR 3-3"X0,131" NAILS 3-10D BOX (3"X0,128") OR 2-16D COMMON (3 1/2"X0,162") OR	FACE NAIL
NTAL PROJECTION AND WIDTH OF NOT LEGG THAN 36 INCHEG.THE GIZE OF THE AREA WELL SHALL BERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED.	19 1' BRACE TO EACH STUD AND PLATE	3-3'ר.131' NAILS 3-8D BOX (2 ½×Ø.113'') OR 2-8D COMMON (2 1/2'ר.131') OR	FACE NAIL
EPTION: THE LADDER OR STEPS REQUIRED BY SECTION R310.4.2 SHALL BE PERMITTED TO H NOT MORE THAN 6 INCHES INTO THE REQUIRED DIMENSIONS OF THE AREA WELL.	20 1'X 6' SHEATHING TO EACH BEARING	2-(3'×0,131') OR 2-IOD BOX (3'×0,128') 3-8D BOX (2 ¹ / ₂ '×0,113') OR 2-8D COMMON (2 1/2'×0,131') OR	FACE NAIL
DDER AND STEPS, AREA WELLS WITH A VERTICAL DEPTH GREATER THAN 44 INCHES SHALL BE AN APPROVED, PERMANENTLY AFFIXED LADDER OR STEPS, THE LADDER OR STEPS SHALL NOT BE Y THE EMERGENCY ESCAPE AND RESCUE OPENING WHERE THE WINDOW OR DOOR IS IN THE OPEN		2-100 BOX (3'X0.128') OR 2 STAPLES, 1"CROWN, 16ga, 1 ³ / ₄ " LONG 3-8D BOX (2 ¹ / ₃ "X0.113") OR	
DERS OR STEPS REQUIRED BY THIS SECTION SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 4.2.1 LADDERS, LADDERS AND RUNGS SHALL HAVE AN INSIDE WIDTH OF NOT LESS THAN 12 INCHES,	21 1'X 8' AND WIDER SHEATHING TO EACH BEARING	3-8D COMMON (2 1/2*×0.131*) OR 3-10D BOX (3*×0.128*) OR 3 STAPLES, 1*CROWN, 16ga, 1 ≩* LONG WIDER THAN 1*×8* 4-8D BOX (2 3*×0.113*) OR	FACE NAIL
ROJECT NOT LESS THAN 3 INCHES FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 NTER VERTICALLY FOR THE FULL HEIGHT OF THE AREA WELL.		3-8D COMMON (2 1/2"XØ.131") OR 3-10D BOX (3"XØ.128") OR 4 STAPLES, 1"CROUN, 16ga, 1 Å" LONG	
1.2.2 STEPS. STEPS SHALL HAVE AN INSIDE WIDTH OF NOT LESS THAN 12 INCHES, A MINIMUM TREAD H OF 5 INCHES (127 MM) AND A MAXIMUM RISER HEIGHT OF 18 INCHES FOR THE FULL HEIGHT OF THE 	FLOO 22 JOIST TO SILL, TOP PLATE OR GIRDER	R 4-8D BOX (2 ¹ / ₂ ר.113') OR 3-8D COMMON (2 1/2'ר.131') OR 3-10D BOX (3'ר.128') OR 3-3'ר.131' NAILS	TOE NAIL
AINAGE, AREA WELLS SHALL BE DESIGNED FOR PROPER DRAINAGE BY CONNECTING TO THE	23 RIM JOIST, BAND JOIST OR BLOCKING TO SILL OR TOP PLATE (ROOF APPLICATIONS ALSO)		4" O.C. TOE NAIL
OUNDATION DRAINAGE SYSTEM REQUIRED BY SECTION R406.1. PTION: A DRAINAGE SYSTEM FOR WINDOW WELLS IS NOT REQUIRED WHERE THE FOUNDATION IS ON NED SOIL OR SAND-GRAVEL MIXTURE SOILS IN ACCORDANCE WITH THE UNITED SOIL ION SYSTEM, GROUP I SOILS, AS DETAILED IN TABLE R406.1.	24 I'X6' SUBFLOOR OR LESS EACH JOIST	BD COMMON (2 1/2*×0.131*) OR IdD BOX (3*×0.128*) OR 3*×0.131* NAILS 3-8D BOX (2 1/2*×0.113*) OR 2-8D COMMON (2 1/2*×0.131*) OR 3-IdD BOX (3*×0.128*) OR	6" O.C. TOE NAIL FACE NAIL
TION SYSTEM, GROUP I SOILS, AS DETAILED IN TABLE R406.1. II FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2.	25 2' SUBFLOOR TO JOIST OR GIRDER	3-10D BOX (3"X0,128") OR 2 STAPLES, 1'CROWN, 16ga, 1 ³ / ₄ " LONG 3-16D BOX (3 ¹ / ₄ "X0,135") OR 2-16D COMMON (3 1/2"X0,1621")	BLIND AND FACE NAIL
DW OPENING HEIGHT. IN DWELLING UNITS, WHERE THE BOTTOM OF THE CLEAR OPENING OF AN OPERABLE G IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 12 INCHES ABOVE THE E OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING. THE OPERABLE WINDOW SHALL COMPLY WITH	26 2' PLANKS (PLANK& BEAM-FLOOR&ROOF) 21 BAND OR RIM JOIST TO JOIST	3-16D BOX (3 ½*X0.135*) OR 2-16D COMMON (3 1/2*X0.162*) 3-16D COMMON (3 ½*X0.162*) OR	AT EACH BEARING, FACE NAIL END NAIL
ABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH DIAMETER SPHERE TO PASS		4-10 BOX (3"X0.128") OR 4-3"X0.131" NAILS OR 4-3"X14ga. STAPLES, 7/16"CROWN	
RABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH DIAMETER SPHERE TO PASS THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION. RABLE WINDOWS ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICE OR FALL PREVENTION DEVICES PLY WITH ASTM F2030.	28 BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	20D COMMON (4*×0.192") OR 10D BOX (3*×0.128") OR 3*×0.131" NAILS	NAIL EACH LAYER AS FOLLOU 32' O.C. AT TOP AND BOTTOM AND STAGGERED 24' O.C. FACE NAIL AT TOP AN BOTTOM STAGGERED ON OPPOSITE SUDES
MERGENCY ESCAPE AND RESCUE OPENINGS. WHERE AN OPERABLE WINDOW SERVES AS AN EMERGENCY RESUCE OPENING, A WINDOW OPENING CONTROL DEVICE OR FALL PREVENTION DEVICE, AFTER OPERATION TO		AND: 2-20D COMMON (4"X0,132") OR 3-10D BOX (3"X0,128") OR	OPPOSITE SIDES FACE NAIL AT ENDS AND AT EACH SPLICE
ONTROL DEVICE OR FALL PREVENTION DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE ENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTIONS R310.2.1 AND R310.2.2.	29 LEDGER STRIP SUPPORTING JOIST OR RAFTERS	3-3"×0.131" NAILS 4-16D BOX (3 ¹ / ₄ " × 0.135") OR 3-16D COMMON (3 1/2"×0.162") OR	AT EACH JOIST OR RAFTER, FACE NAIL
<u>SHES</u> BOARD: (REFERENCE STANDARD-GYPSUM CONSTRUCTION HANDBOOK, UNITED STATES GYPSUM, LATEST	30 BRIDGING OR BLOCKING TO JOIST, RAFTER OR TRUSS	4-10D BOX (3"X0.128") OR 4-3"X0.131" NAILS 2-10D BOX (3"X0.128") OR	EACH END, TOE NAIL
LL WALLS SHALL RECEIVE 1/2" THICK GYPSUM BOARD FOR CONSTRUCTION CLASS 5B AND 5/8" THICK GYPSUM CONSTRUCTION CLASS 5A, SCREWED (SEE FASTENER SCHEDULE). TAPED AND SPACKLED WITH 3 COATS, DUST TWEEN COATS, AND SMOOTH SANDED AFTER FINAL COAT IN PREPARATION OF PAINT OR OTHER FINISHES. USE VER BEAD AT ALL EXPOSED CORNERS AND CASING BEADS WHERE GYPSUM BOARD ABUTS OTHER MATERIAL	ITEM DESCRIPTION OF BUILDING ELEMENTS	2-8D COMMON (2 1/2"X0.131") OR 3"X0.131" NAILS NUMBER AND TYPE OF FASTENER	SPACING OF FASTENERS
WOOD CASTING, USE MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS, FOR ONE-STORY GARAGES, ALL ALLS TO ANY LIVING AREA SHALL RECEIVE (1) LAYER OF 5/8" TYPE "X" GYPSUM BOARD. FOR GARAGES WITH A ABOVE, THE GARAGE CEILING SHALL RECEIVE (2) LAYERS OF 5/8" TYPE "X" GYPSUM BOARD AND ALL WALLS - (1) LAYER OF 10" EVEN BOARD	WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND IN SHEATHING TO FRAMING (SEE TABLE R602.3(3) FOR WOO		
1) LAYER OF 5/8" TYPE "X" GYPSUM BOARD. 02.1(1) MAXIMUM AREA OF EXTERIOR WALL OPENINGS, FIRE SEPARATION DISTANCE: PROVIDE 5/8" TYPE "X" 20. OVER EXTERIOR BUE AT UNG OR FIRE RATED BUE AT UNG FOR ANY DWELLING FERS TUAN F' TO THE	31 3/8'-1/2'	6D COMMON OR DEFORMED (2' × 0.113' × 0.266' HEAD) OR 2 g ¹ × 0.113' × 0.266' HEAD NAIL	6 6'
IRD OVER EXTERIOR SHEATHING OR FIRE-RATED SHEATHING FOR ANY DWELLING LESS THAN 5' TO THE INE.		(SUBFLOOR, WALL)' 2D COMMON (2 ½ × Ø.131") NAIL (ROOF) OR RSRS-ØI (2 ⅔ × Ø.113") NAIL (ROOF)°	6 6'
FIRE SEPARATION BETWEEN DWELLING UNITS ABOVE ATTACHED PRIVATE GARAGES PROVIDE (2)-LAYERS OF 5/8" GYPSUM BOARD ON ALL CEILINGS AND (1)-LAYER OF 5/8" TYPE "X" GYPSUM BOARD ON ALL WALLS.	32 19/32'-1'	SD COMMON NAIL $(2-2\frac{1}{2}"\times 0.13!")$ NAIL (SUBFLOOR, WALL) SD COMMON $(2\frac{1}{2}"\times 0.13!")$ NAIL (ROOF) OR REFERENCE ($2\frac{1}{2}"\times 0.13!")$ NAIL (ROOF) OR	6 12 6 6'
OVERHEAD IN A BASEMENT THAT ARE CONSTRUCTED OF ENGINEERED WOOD PRODUCTS, IN BUILDINGS NOT JITH FIRE SPRINKLERS, ARE REQUIRED TO BE PROTECTED WITH A MIN. 1/2" GYPSUM BOARD OR 5/8" WOOD PANELS AS PER SECTION R302.13 OF THE NJ IRC		RSRS-ØI (2 §' × Ø.113') NAIL (ROOF) [®] DEFORMED 2 §' × Ø.13' × Ø.266' HEAD (WALL OR SUBFLOOR) IØD COMMON (3'' × Ø.148') NAIL OR	6 12
	33 1/8'-1 1/4' OTHER U	(2 ½×@.31'X@.281" HEAD) DEFORMED NAIL JALL SHEATHING®	6 12
ND INSTALL AS PER MANUFACTURER'S SPECIFICATIONS ALL EQUIPMENT INCLUDING: KITCHEN 6, LAUNDRY, CENTRAL VACUUM, FANS, PREFABRICATED FIREPLACE, GARAGE DOOR OPENER AS ON DRAWINGS.	34 1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	$1\frac{1}{2}$ ×0.120" GALV, ROOFING NAIL, $\frac{1}{6}$ " HEAD DIAMETER, OR $1\frac{1}{4}$ " LONG 16 GA. STAPLE WITH $\frac{1}{6}$ " OR 1" CROWN	3 6
UCTS: DUCT TO EXTERIOR TO BE PROVIDED FOR RANGE HOOD, DRYER, AND BATH EXHAUST.	35 25/32' STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	$1\frac{3}{4}$ ×0.120" GALV. ROOFING NAIL, $\frac{1}{6}$ " HEAD DIAMETER, OR $1\frac{1}{4}$ " LONG 16 GA. STAPLE WITH $\frac{1}{6}$ " OR 11" CROWN	3 6
<u>ONVEYING SYSTEMS</u> SHALL BE INSTALLED AS PER ALL LOCAL AND STATE CODE AND REGULATIONS, CONTRACTOR TO VERIFY WITH	36 1/2" GYPSUM SHEATHING	$1\frac{1}{2}$ × 0.120" GALV. ROOFING NAIL, $\frac{1}{6}$ " HEAD DIAMETER, OR $1\frac{1}{2}$ " LONG 16 GA. STAPLE GALV, $1\frac{1}{2}$ " LONG, $\frac{1}{6}$ " OR 1" CROIN OR $1\frac{1}{2}$ " SCREWS TYPE WORS	, - , - , - , - , - , - , - , - , - , -
ATOR GLASS DOORS ARE INSTALLED THEY SHALL BE RATED AND MARKED AS 297.1 CFRIG.1. GLASS DOORS	37 5/8' GYPSUM SHEATHING	CROWN OR 1 4' SCREWS, TYPE W OR S 1 4"×0120" GALY. ROOFING NAIL, 1"" HEAD DIAMETER, OR 1 4" LONG 16 GA STAPLE GALY 14" LONG 1" OR 1"	э
MITTED AT AN ENTRY INTO A GARAGE. JG ARE INSTALLED IN AN ELEVATOR HOISTWAY, THEY MUST BE INSTALLED ON EXTERIOR WALLS AND SHALL BE	WOOD STRUCTURAL PANELS, COMBIN	GA, STAPLE GALV, 1½" LONG, 12" OR 1" CROUN OR 1 4" SCREWS, TYPE W OR S IATION SUB-FLOOR UNDER-LAYMENT TO	
OUS ARE INSTALLED IN AN ELEVATOR HOISTMAT, THET MUST BE INSTALLED ON EXTERIOR WALLS AND SHALL BE "WITH A LAYER OF PLEXIGLAS INSTALLED ON THE INTERIOR. HOISTWAY SHALL HAVE A LAYER OF 5/8" TYPE 'X' GYPSUM BOARD INSTALLED ON THE INTERIOR AND EXTERIOR	38 3/4" AND LESS	DEFORMED $(2^{\circ} \times 0.13^{\circ})$ OR DEFORMED $(2^{\circ} \times 0.120^{\circ})$ NAIL OR 8D COMMON $(2^{\circ}_{2} \times 0.31^{\circ})$ NAIL	6 12
TWAY WALLS.	39 7/8' - 1'	8D COMMON (2 $\frac{1}{2}$ × Ø.131") NAIL OR DEFORMED (2 $\frac{1}{2}$ × Ø.131") OR DEFORMED (2 $\frac{1}{2}$ × Ø.131") OR DEFORMED (2 $\frac{1}{2}$ × Ø.120") NAIL	6 12
DITIONS CH ARE LESS THAN 5' TO THE PROPERTY LINE SHALL HAVE FIRE RATED GYPSUM BOARD OVER SHEATHING OR 1	40 11/8" - 11/4"	10D COMMON (3" × 0.148") NAIL OR DEFORMED (2 ½ × 0.131") OR DEFORMED (2 ½×0.131") OR	6 12
RATED SHEATHING ON THE EXTERIOR. EXPOSURE IS FROM BOTH SIDES. (IRC TABLE R302.(1)) M OPENINGS ON WALLS WITH DISTANCE FROM 3' TO LESS THAN 5' TO PROPERTY LINE. XXXX S.F. X 25% = XXXXX S.F. (OPENINGS PERMITTED) POSED OPENINGS = XX S.F.	 FOR 91: 1 INCH= 25.4 MM, 1 FOOT= 304.8 MM, 1 MILE PER HOUR= 0.441 M/6, a. Nalls are shooth- common, Box or deformed sharks excern where otherwise BENDING YIELD STRENGTHS AS SHOWN 80 KSI FOR SHARK DIAMETER OF 0/30 INCH (20 0.111 INCH, AND KSI FOR SHARK DIAMETERS OF 0/42 INCH OR LESS. b. STAPLES ARE IS GAGE WIRE AND HAVE A MINIMUM 1/ IS INCH ON DIAMETER CR. c. NALLS SHALL BE SPACED AT NOT MORE THAN 6 INCHES ON CENTER AT ALL 30 	9TATED, NAILS USED FOR FRAMING AND 9HEATHING COM 10 COMMON NAIL), 30 KSI FOR 9HANK DIAMETERS LARGER TH DUN WIDTH.	ECTIONS SHALL HAVE MINIMUM AVERAGE AN Ø142 INCH BUT NOT LARGER THAN
OPOSED OPENINGS = XX SF. (OPENINGS ARE NOT PERMITTED IN WALLS WHICH ARE LESS THAN 3' TO THE PROPERTY LINE UNLESS THE OPENINGS ARE FIRE-RATED. (IRC TABLE R302.1(1))	 d. FOUR-FOOT BY 8 FOOT OR 4 FOOT BY 9 FOOT PANELS SHALL BE APPLIED VER e. SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TA WHERE THE ULTIMATE DESIGN WIND SPEED IS GM PH OR LESS, NAILS FOR ATT, SPACED 6 INCHES ON CENTER, WHERE THE ULTIMATE DESIGN WIND SPEED IS GR 	RTICALLY. BLE R602.3(2). Aching Wood Structural Panel R00F Sheathing ta Egater Than 130 MPH, Nails FOR Attaching Panel R	OOF SHEATHING TO INTERMEDIATE SUPPORTS
"LENE (PP) SIDING SHALL NOT BE INSTALLED ON WALLS WITH A FIRE SEPARATION DISTANCE LESS THAN 5' TO LINE, RIGID POLYVINYL CHLORIDE (PVC) SIDING MAY BE USED.	SHALL BE SPACED & INCHES ON CENTER FOR MINIMUM 48 INCH DISTANCE FROM G. GYPSUM SHEATHING SHALL CONFORM TO ASTM CI336 AND SHALL BE INSTALLED h. SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PAN	1 RIDGES, EAVES AND GABLE END WALLS, AND 4 INCH > IN ACCORDANCE WITH GA 253, FIBERBOARD SHEATHI EL EDGES SUPPORTED BY FRAMING MEMBERS AND RE	ES ON CENTER TO GABLE END WALL FRAMING NG SHALL CONFORM TO ASTM C208, EQUIRED BLOCKING AND AT FLOOR
INE, RIGID FOLTVINTE CHLORIDE (FVC) SIDING HAT BE USED.	PERIMETERS ONLY, SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGE BLOCKING OF ROOF OR FLOOR SHEATHING PANEL EDGES PERPENDICULAR TO	SAFFLIES TO FAREL EDGES SUFFORTED BT FRAMING	THE DERO AND REQUIRED DECORING.

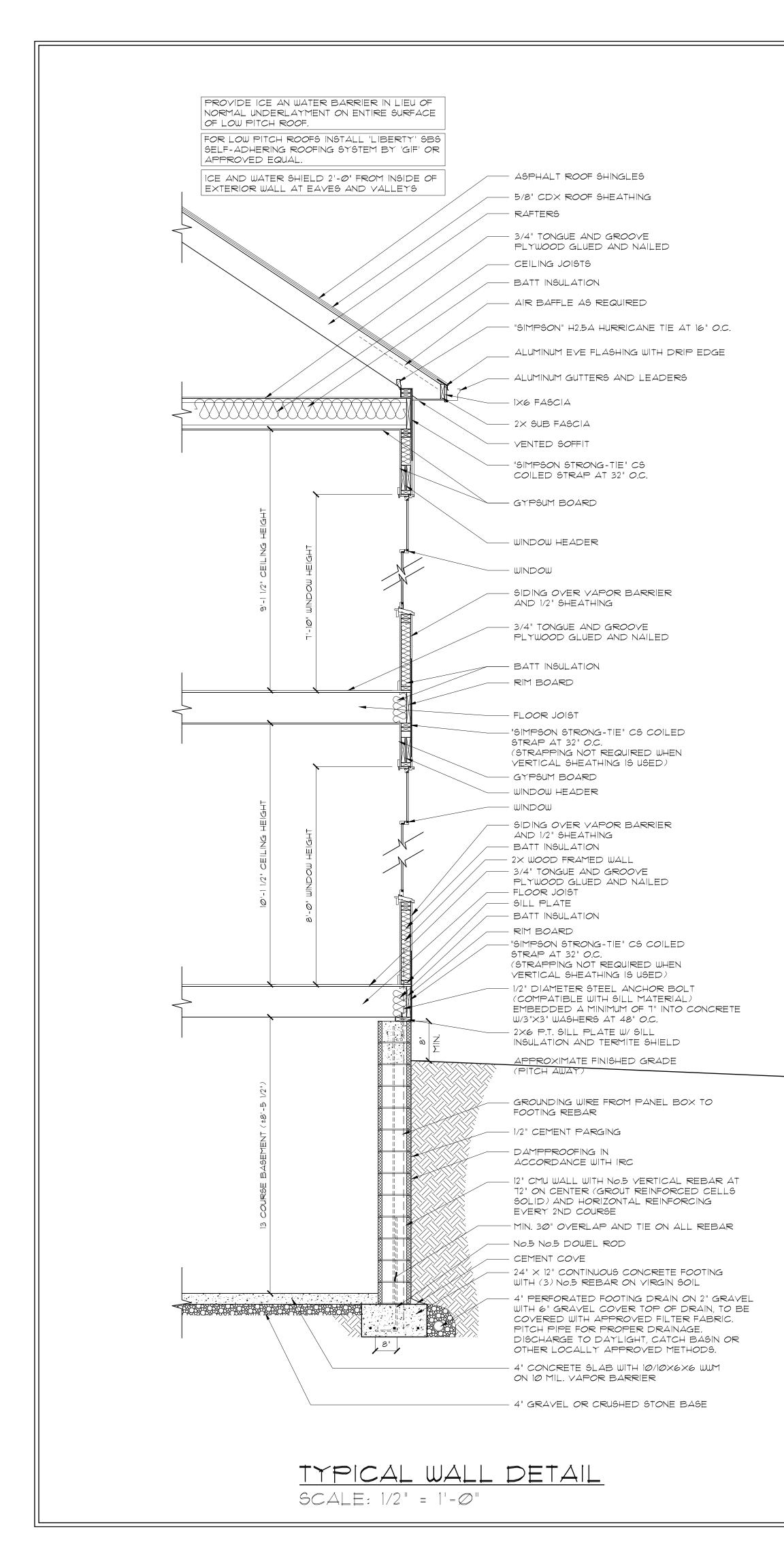


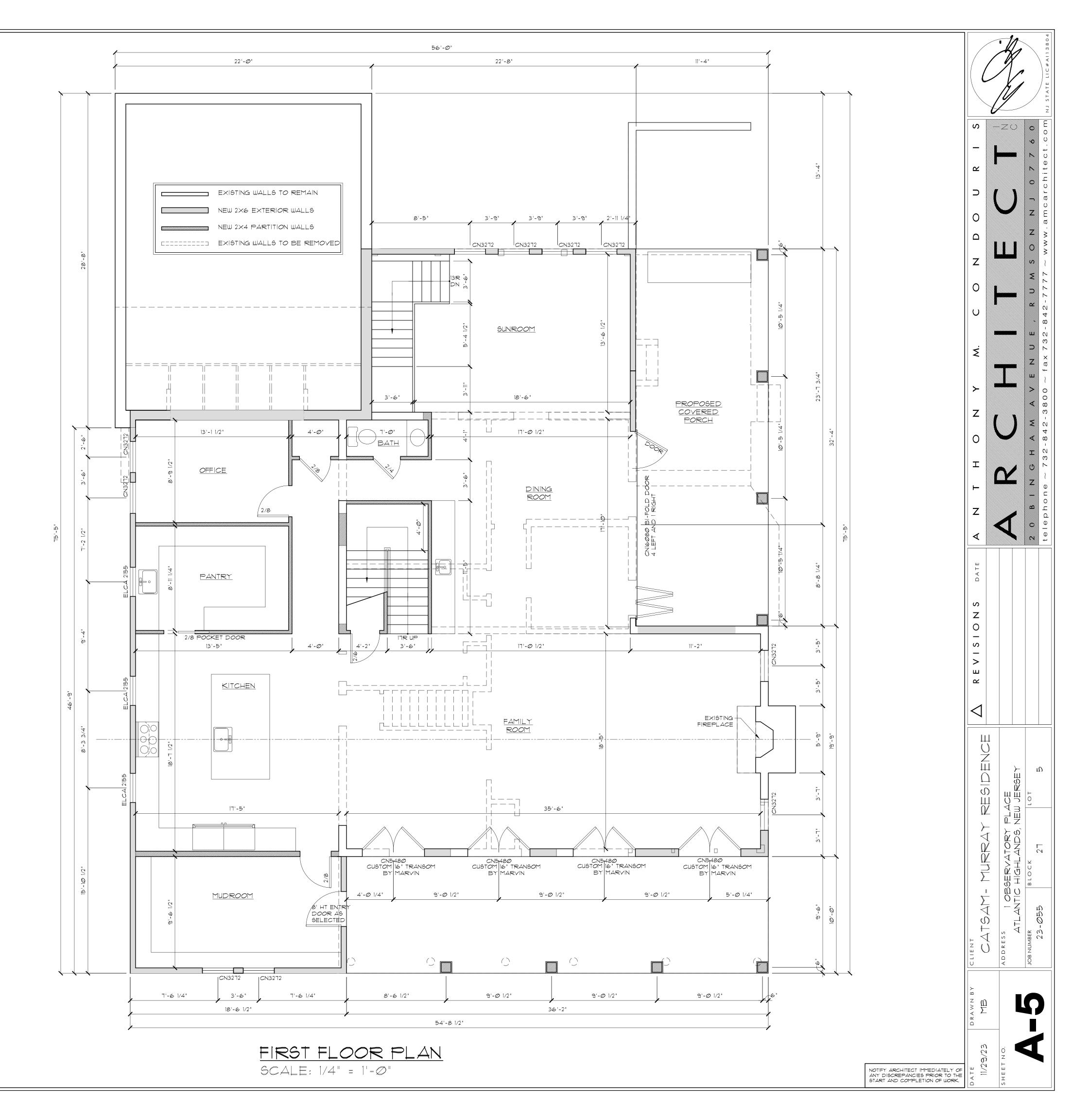


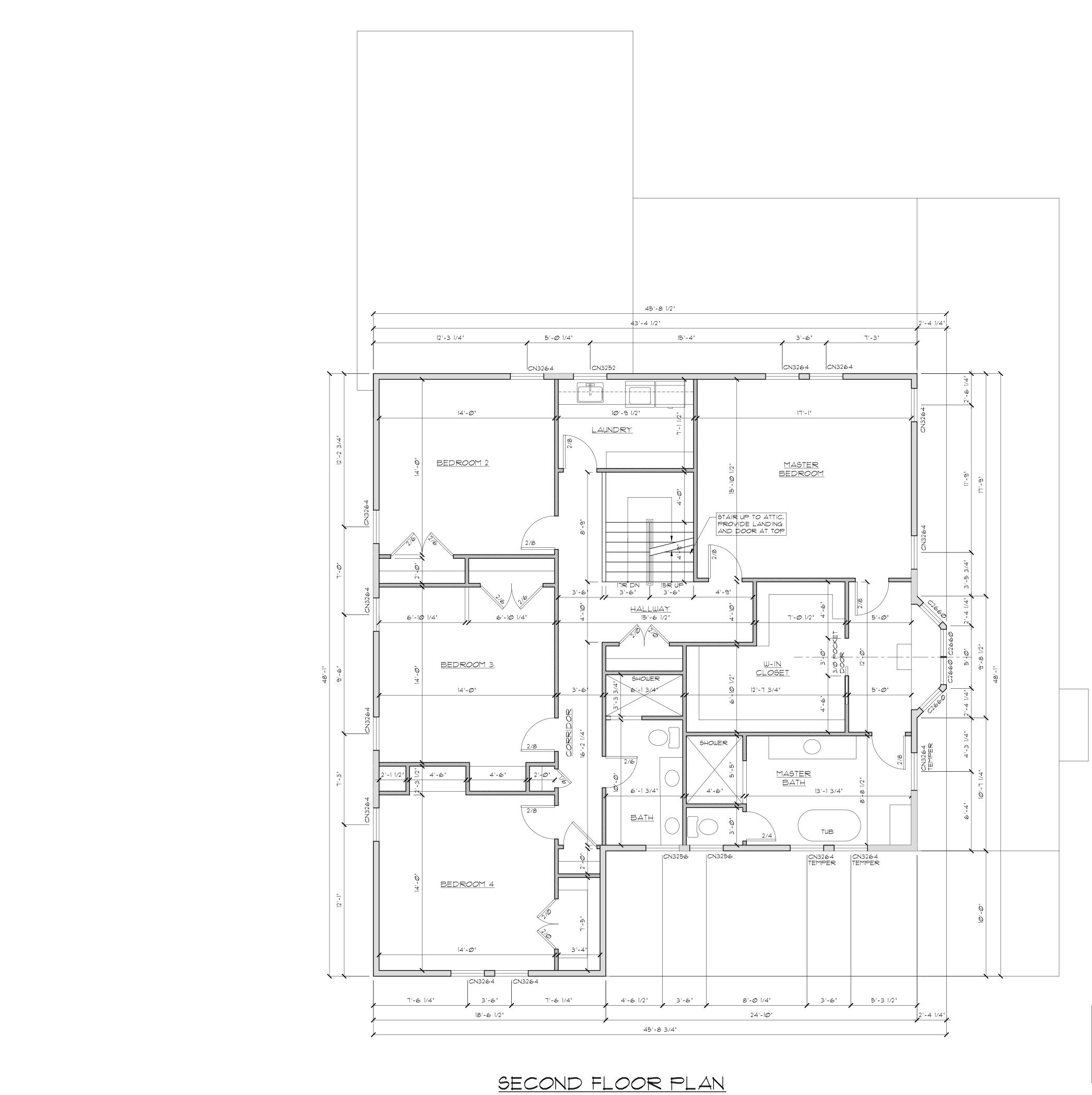








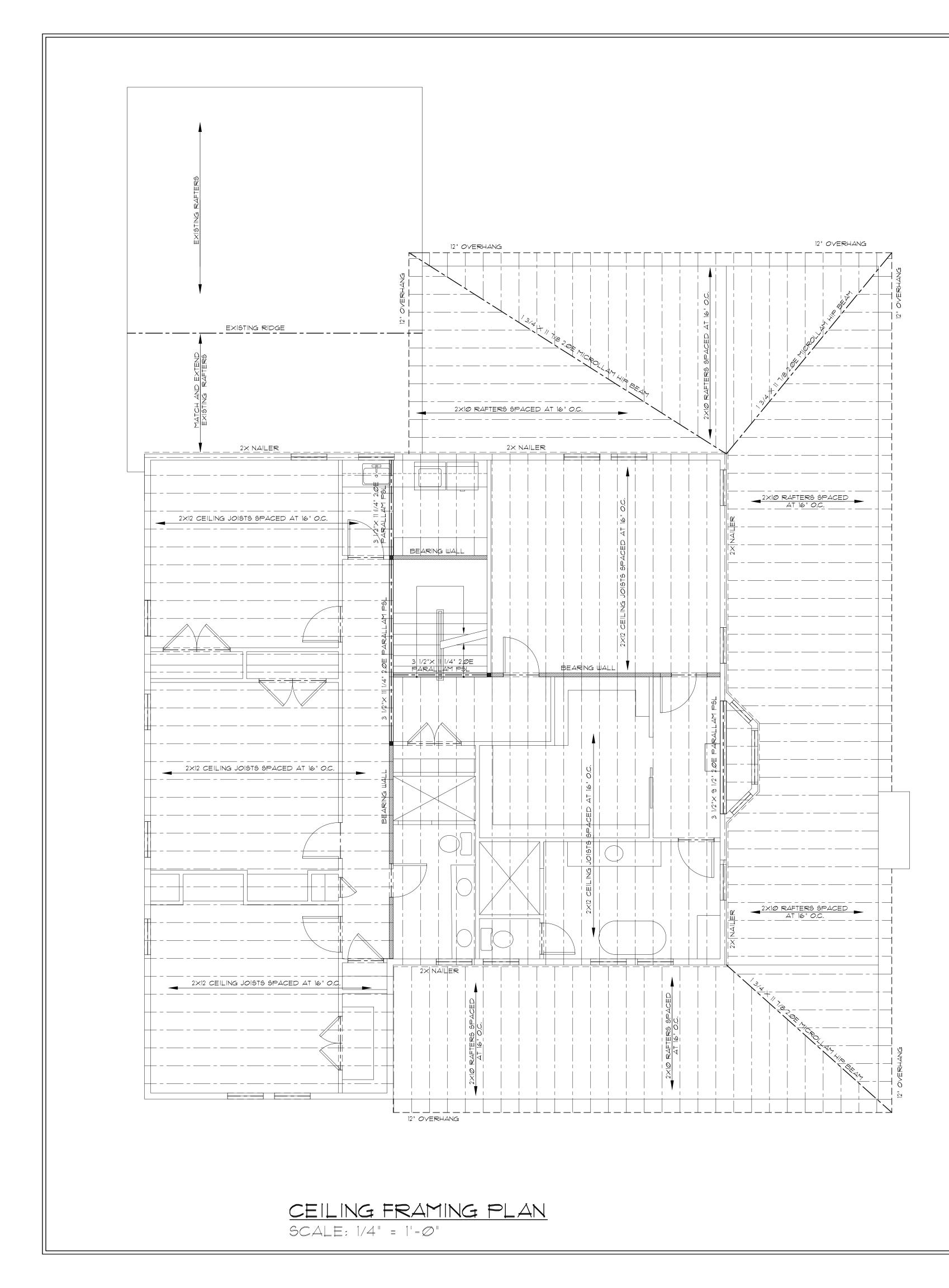


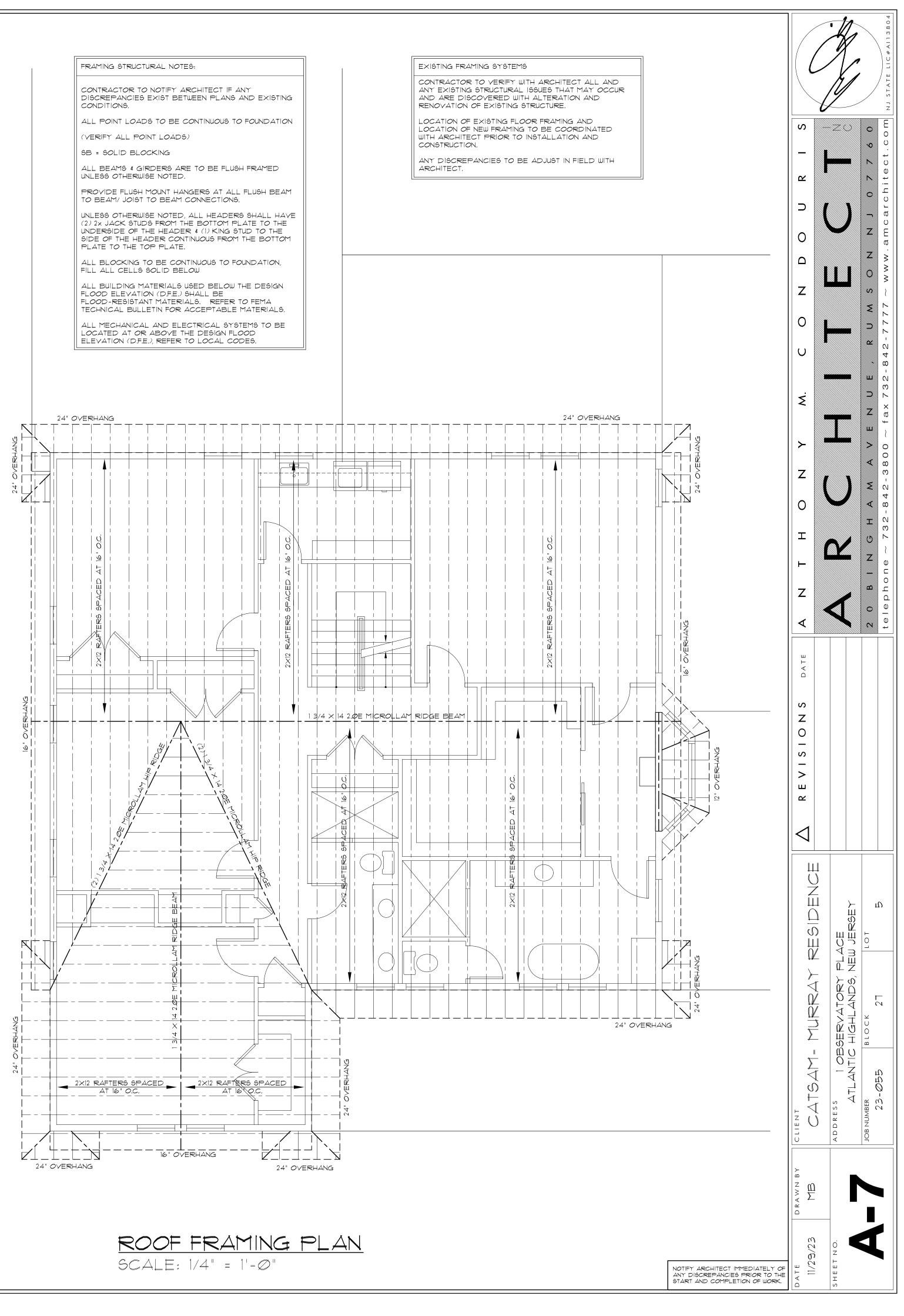


SCALE: 1/4" = 1'-0"

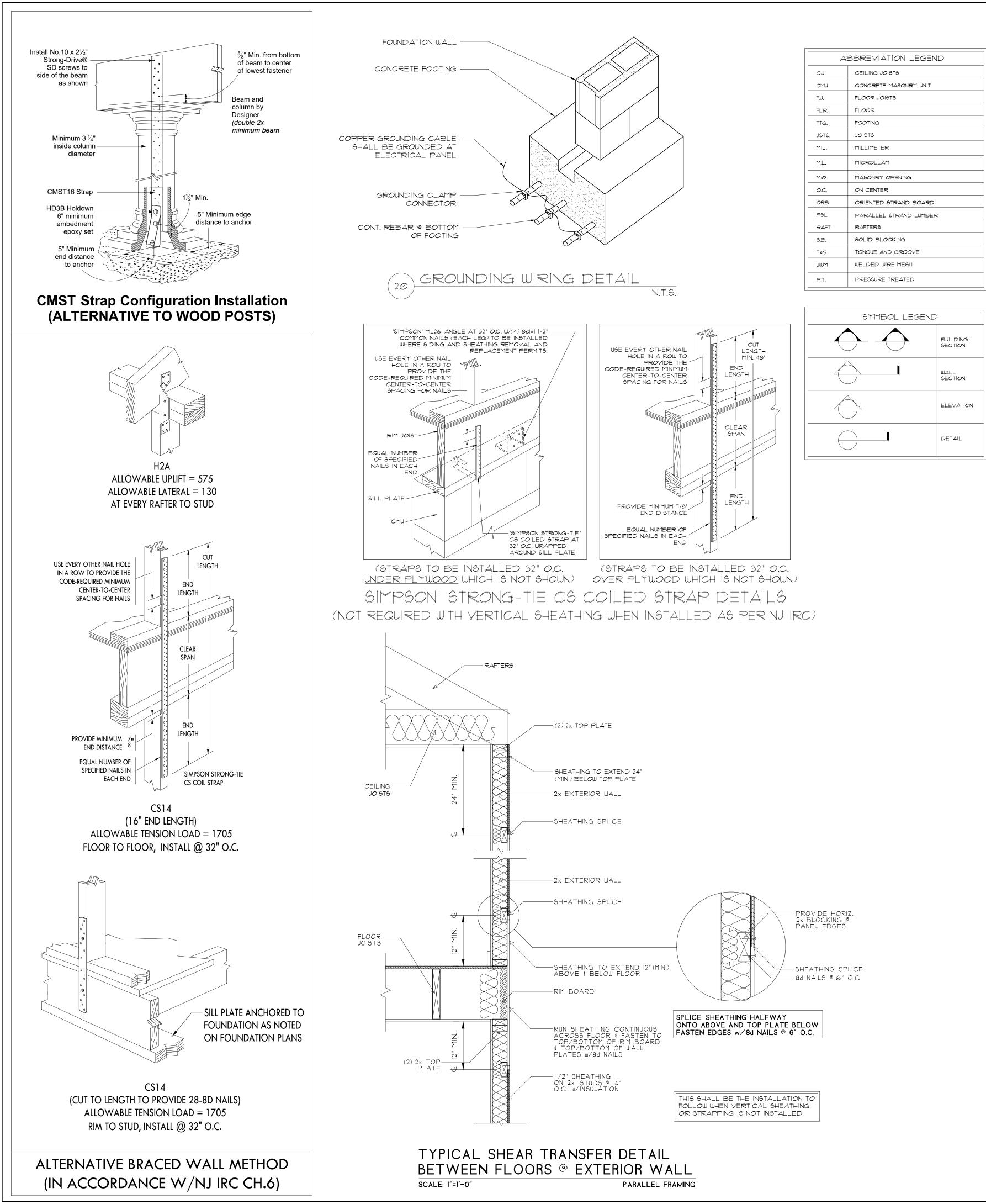
۲ H d											
DATE	DRAWN BY	CLIENT				Z C ⊥ Z	×				
11/29/23	Σ	CATSAM- MURRAY	MURRAY RESIDENCE	1	>						2
											///////////////////////////////////////
S Н Е Е Т N О.		ADDRESS 1 OBSERVATORY PLACE	D ACE			N N N N					
		ATLANTIC HIGHLANDS, NEW JERSEY	VEW JERSEY			リイベ					
		BLOCK	LOT			20 BINGHAM A	AVENUE	, R U	M S O N N J	07760	
		7.9-CDD 7-	n			telephone \sim 732-842-3800 \sim	00 ~ fax 732-	00	42-777 ~ www.amcarchitect.com	hitect.com	NJ STATE LIC#AI13804

 EXISTING WALLS TO REMAIN
NEW 2×6 EXTERIOR WALLS
NEW 2×4 PARTITION WALLS
 EXISTING WALLS TO BE REMOVED

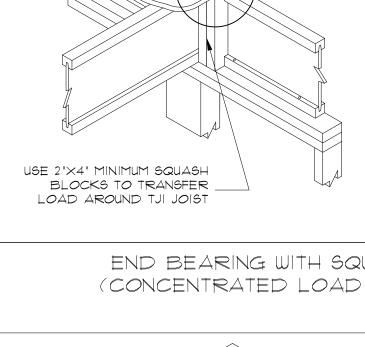


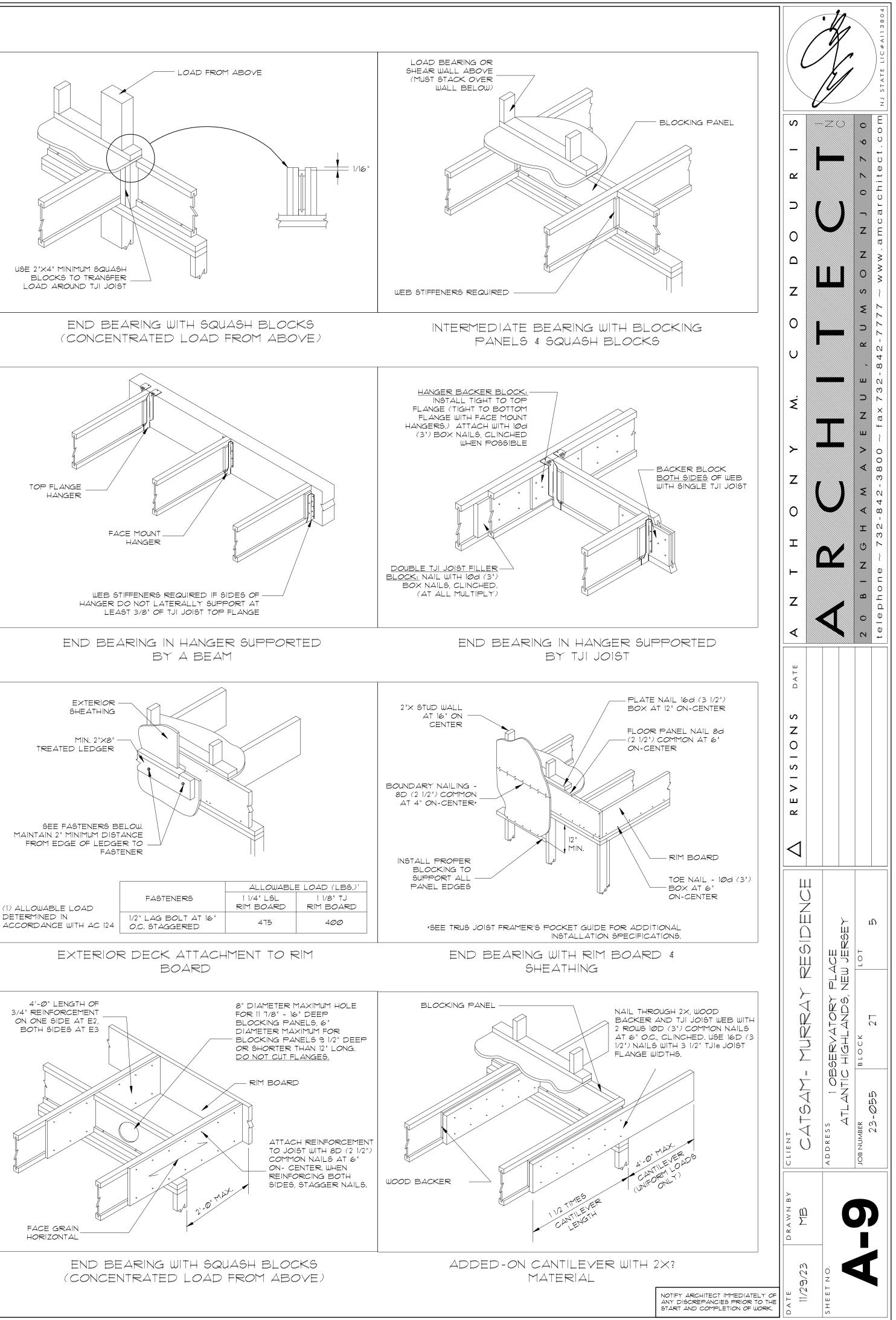


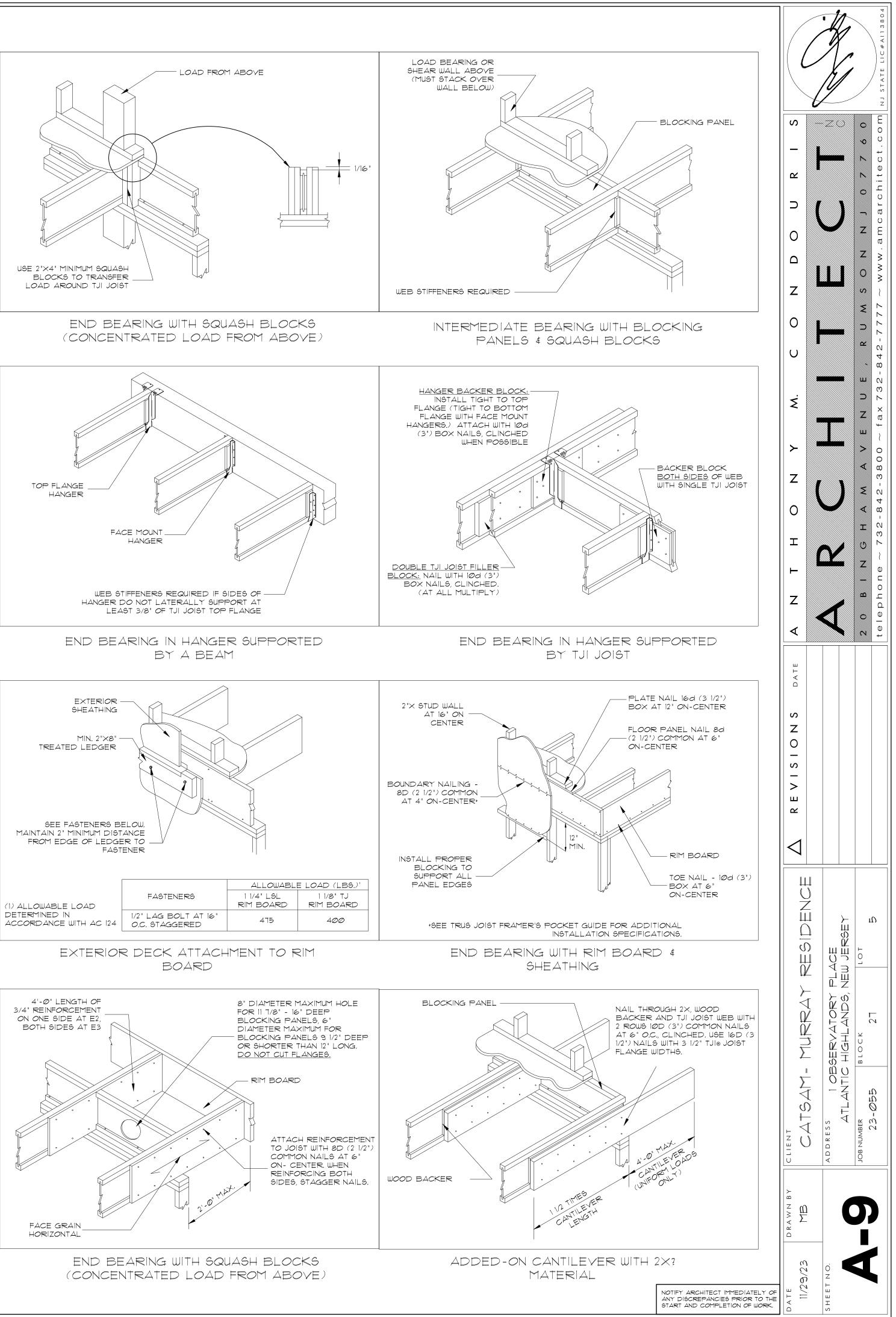


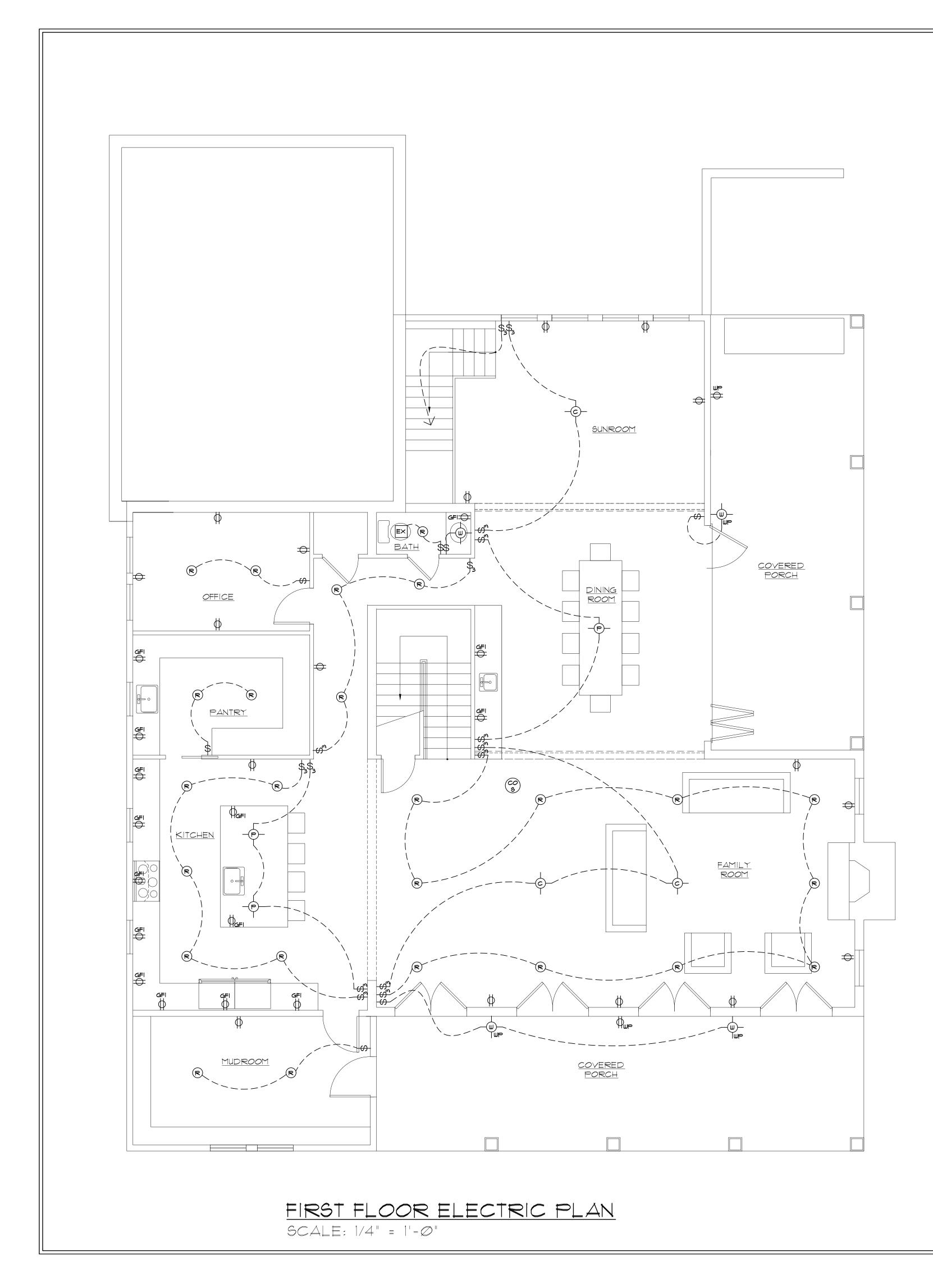


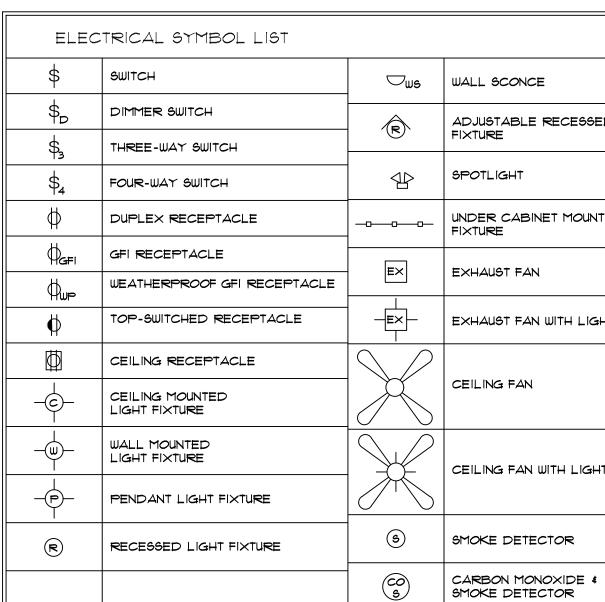
ABBREVIATION LEGEND		
C.J.	CEILING JOISTS	
CMU	CONCRETE MASONRY UNIT	
F.J.	FLOOR JOISTS	
FLR.	FLOOR	
FTG.	FOOTING	
JSTS.	JOISTS	
MIL.	MILLIMETER	
M.L.	MICROLLAM	
M.Ø.	MASONRY OPENING	
0.C.	ON CENTER	
05B	ORIENTED STRAND BOARD	
PSL	PARALLEL STRAND LUMBER	
RAFT.	RAFTERS	
6.B.	SOLID BLOCKING	
T≰G	TONGUE AND GROOVE	
WWM	WELDED WIRE MESH	
P.T.	PRESSURE TREATED	









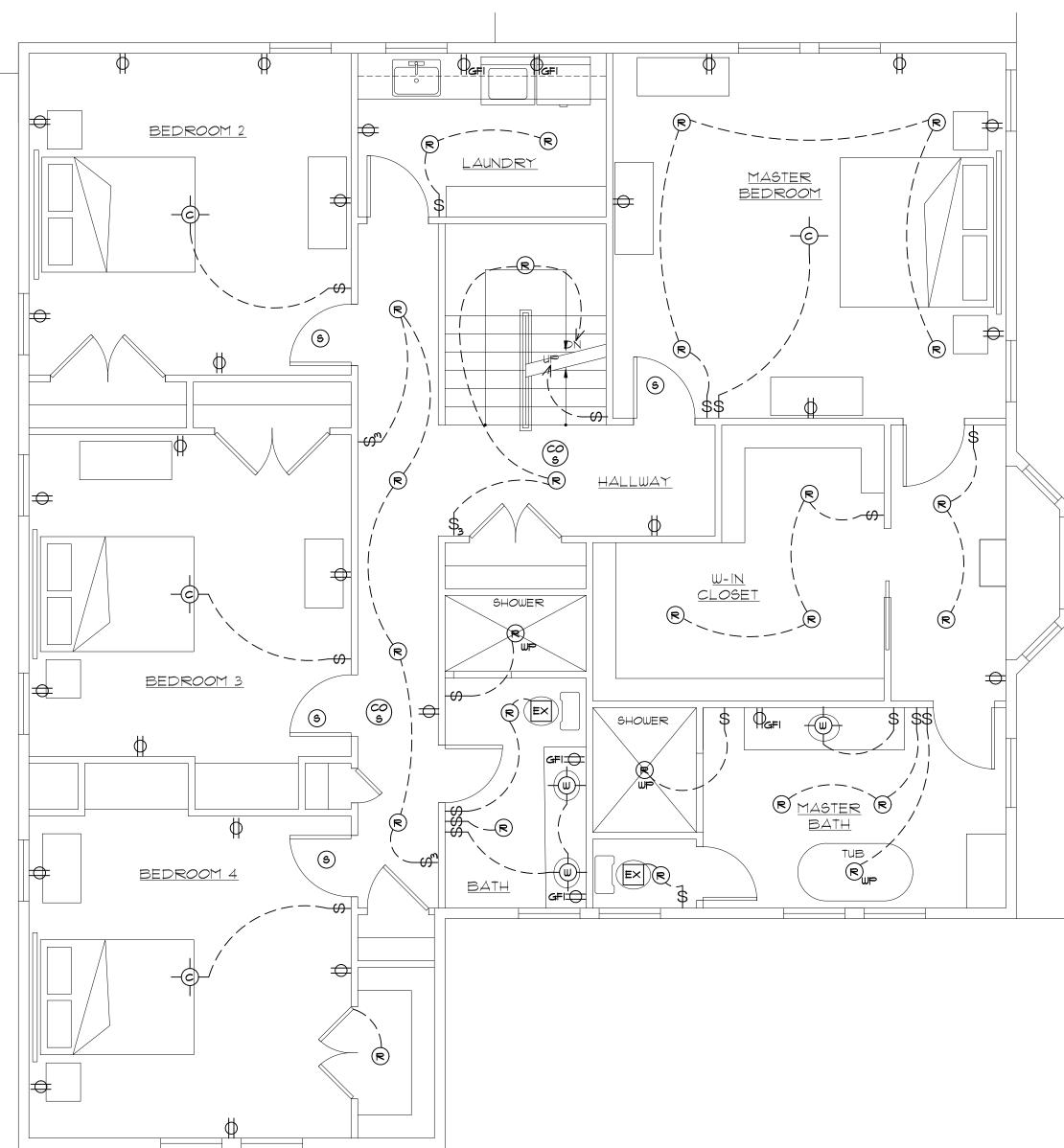


ELECTRICAL GENERAL NOTES:

-EXACT ELECTRICAL LAYOUT AND FIXTURE COUNT SHALL BE VERIFIED DURING WALK-THROUGH WITH HOMEOWNER -ALL SMOKE DETECTORS SHALL BE AC WIRED INTERCONNECTED WITH BATTERY BACK-UP -PROVIDE FOR A MINIMUM OF ONE LIGHT FIXTURE IN ATTIC -UPGRADE EXISTING ELECTRICAL AS REQUIRED

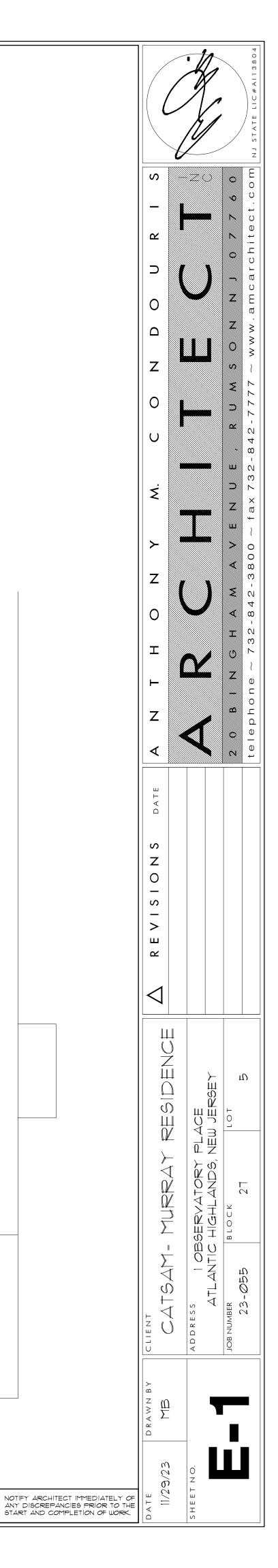
-ALL ELECTRICAL OUTLETS TO BE INSTALLED ABOVE FLOOD ELEVATION -FIRE RATED FIXTURE ASSEMBLIES ARE REQUIRED WHEN RECESSED LIGHTS ARE USED IN A FIRE RATED ASSEMBLY

-ALL BATHROOM MECHANICAL VENTS, TO EXHAUST TO OUTSIDE.



<u>Second floor electric plan</u> SCALE: 1/4" = 1' = 0"

CE	
E RECESSED LIGHT	
INET MOUNTED LIGHT	
٩N	
N WITH LIGHT	
١	
N WITH LIGHT	
ECTOR	





BOROUGH OF ATLANTIC HIGHLANDS

STEEP SLOPE PERMIT APPLICATION (Ordinance 03-2011)

In order to protect the health, safety and welfare of people and property within the Borough from improper work or disturbance or any other acts affecting steep slope areas, and more particularly, but not without limitation, to reduce the hazards, which exist in areas by reason of erosion, siltation, ponding, soil slippage, surface water runoff, and destruction of vegetation which stabilizes hillsides, a permit for any engineering review and approval must be filed with the Construction Official for any work disturbance proposed for areas that have a slope of 15% or greater.

Work or disturbance is defined as, but not limited to construction, building improvement or development, whether or not a building permit may be required, or, the removal of trees, shrubs, or other vegetation or soil disturbance that may have a detrimental impact on the slope areas.

*****PERMIT MUST BE ACCOMPANIED WITH AN ELEVATION SURVEY*****

BLOCK 27

ZONE_R-2

PROPERTY ADDRESS: 1 Observatory Place

OWNER NAME & ADDRESS: __Kate Murray; 1 Observatory Place

LOT 5

PHONE# 732-939-3838

CONTRACTOR NAME & ADD Patrick Murray; 12 Prospect Circle Atlantic Highlands, NJ

PHONE# 732-245-2716

PROPOSED WORK: Add a second level over existing first floor as well as a two story

addition increasing total s.f. to 4,253; add covered porch on side.

APPLICANTS SIGNATURE: DATE: **RECEIVED BY**:

*****FEES: \$25.00 PERMIT - \$500.00 ENGINEERS FEE - 2 SEPARATE CHECKS REQ. CHECK #'S ______ PERMIT#_____



BOROUGH OF Atlantic Highlands

100 FIRST AVENUE ATLANTIC HIGHLANDS, NJ 07716 732-291-1444 FAX 291-9725 WWW.AHNJ.COM CLERK@AHNJ.COM

MICHELLE CLARK, ZONING OFFICER

To: Kate Murray 1 Observatory Place Atlantic Highlands, NJ 07716

From: Michelle Clark Zoning Officer

Date: August 10, 2023

Re: Block 27, Lot 5, 1 Observatory Place

I have reviewed your application for proposed second floor addition in the R-2 Zone for compliance with the Borough of Atlantic Highlands Zoning Code.

The following Planning Board approvals are necessary:

Section 5-2 Minimum Side Yard Set Back 15'/30' required; 10.3'/31.3' exists Minimum Rear Yard Set Back 30' required; 11.6 exists

Steep Slope approval is needed

To proceed with an application to the Planning Board please contact Nancy Tran at 732-291-1444 ext 3108 or by email at <u>planningboard@ahnj.com</u>

Should you have any questions, please feel free to contact me.

cc: Nancy Tran, Board Secretary



JOHN H. ALLGAIR, PE, PP, LS (1983-2001) DAVID J. SAMUEL, PE, PP, CME JOHN J. STEFANI, PE, LS, PP, CME JAY B. CORNELL, PE, PP, CME MICHAEL J. McCLELLAND, PE, PP, CME GREGORY R. VALESI, PE, PP, CME

TIMOTHY W. GILLEN, PE, PP, CME BRUCE M. KOCH, PE, PP, CME LOUIS J. PLOSKONKA, PE, CME TREVOR J. TAYLOR, PE, PP, CME BEHRAM TURAN, PE, LSRP LAURA J. NEUMANN, PE, PP DOUGLAS ROHMEYER, PE, CFM, CME ROBERT J. RUSSO, PE, PP, CME

February 7, 2024

Atlantic Highlands Borough Planning Board 100 First Avenue Atlantic Highlands, NJ 07716

Attn: Nancy Tran - Planning Board Secretary

Re: Murray Residence (PB24-01) Bulk Variance Application – Review #1 Location: 1 Observatory Place Zone: R-2 (Residential District) Block 27, Lot 5 Borough of Atlantic Highlands, Monmouth County, NJ Our File: HAHP027.05

Dear Planning Board Members:

Our office received the following information in support of the above-referenced application for Bulk Variance approval:

- Survey entitled "Steep Slope Review Plan for Kate Murray, Lot 5 Block 27, Borough of Atlantic Highlands, Monmouth County, NJ" consisting of one (1) sheet prepared by Ronald L. Trinidad, PLS, dated September 20, 2023; and
- Architectural plans entitled "Proposed Additions and Renovations for Catsam Murray Residence, 1 Observatory Place, Atlantic Highlands, New Jersey, Block 27 ~ Lot 5" consisting of ten (10) sheets prepared by Anthony M. Condouris, AIA, dated November 29, 2023.
- Steep Slope Permit Application, dated December 12, 2023;
- Application for Variance, dated December 12, 2023;
- Development Plan Checklist, dated December 22, 2023; and,
- Zoning officer denial letter, dated August 10, 2023.

We have reviewed this application for Bulk Variance approval and offer the following comments:

1. Property Description

The subject property is a lot containing 16,033 SF within an R-2 Zone District and Steep Slope Area and provides 78.00 feet of road frontage along the south side of Observatory Place. The property currently contains a one-story dwelling with attached studio, covered front porch, shed, stone driveway, and concrete walkway.

The Applicant proposes to expand the existing one-story dwelling by adding a 1,330 SF second story over the existing first floor and rear patio and a 837 SF two-story addition to the east as well

S:\Atlantic Highlands\Project Files\HAHP0027.05 - Murray\24-02-06 Bulk Var. Rvw 1-Murray.docx



February 7, 2024 Our File: HAHP0027.05 Page 2

as a covered side porch to the west and raised patio to the south. The Applicant is requesting Bulk Variance relating to minimum rear yard setback, minimum side yard setback, maximum lot coverage, and maximum building coverage.

2. Surrounding Uses

Properties surrounding the subject site are similarly zoned R-2 and contains primarily single-family residential uses.

3. Zoning Compliance

The subject property is situated within an R-2 Zone District and the table below summarizes the bulk measures and zone requirements for the property:

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
Min. Lot Area	15,000 sf	16,033 sf	16,033 sf
Min. Lot Frontage / Width	100 ft.	78 ft.	78 ft. (EC)
Min. Front Yard Setback	25 ft.	98.2 ft.	98.0 ft.
Min. Side Yard Setback	15 ft.	10.3 ft.	10.3 ft. (V)
Min. Combined Side Yard Setbacks	30 ft.	30.2 ft.	30.2 ft.
Min. Rear Yard Setback	30 ft.	11.3 ft.	11.3 ft. (V)
Min. Lot Shape Diameter	65 ft.	59.5 ft.	59.5 ft. (EC)
Max. Building Height	35 feet /	17.5 ft. /	33.6 ft. /
	2 ½-story	1-story	2.5-story
Max. Lot Coverage (Impervious)	40%	25.9%	31.7%
Max. Lot Coverage (Building)	15%	16.4%	23.9% (V)
Max. Usable Floor Area Ratio	0.35	0.164*	0.320*
	1,200 sf /	1,773 sf /	2,255 sf /
Min. Gross Floor Area (>1-Story)	1,800 sf (Total)	3,475 sf	6,233 sf
Min. Side Yard Setback (Acc)	10 feet	2.9 ft.	2.9 ft. (EC)
Min. Rear Yard Setback (Acc)	5 feet	94.4 ft.	94.4 ft.
Max. Acc. Building Height (Acc)	1-Story / 16 feet	(TBP)	(TBP)

(EC): Existing Condition

(V): Variance Required

(TBP): To Be Provided

**Applicant to confirm classification of lowest level as basement, cellar, or story and provide supporting calculations. Table calculations assume lowest level is basement. We note §150-6 states that 50% of the floor area of basements having a ceiling height of seven feet or greater shall be included in UFAR calculations.

The Applicant has provided steep slope calculations in accordance with Ordinance Section 150-78.E. Based upon our review of the calculations provided on the Plot Plan submitted as part of this application, we find that the proposed improvements appear meet the applicable steep slope zoning



February 7, 2024 Our File: HAHP0027.05 Page 3

requirements. Further detail is required for proposed lot disturbance. Below is a summary of the approximate allowable steep slope areas:

Table 2: Allowable Steep Slope Areas, §150-78(E)					
Standard	Required	Existing	Proposed		
Minimum Lot Size Area (sq. ft.)	15,936	16,033	16,033		
Maximum Lot Coverage (sq. ft.)	6,394	3,837	5,214		
Maximum Impervious Area (sq. ft.)	5,592	3,837	5,214		
Maximum Lot Disturbance (sq. ft.)	7,270	N/A	(TBP)		

(EC): Existing Condition (V): Variance Required (TBP): To Be Provided

- 4. It appears that the Applicant will require relief from the following variances and/or design waivers with respect to this development application:
 - a) **Section 150-29(A)(2)(Exhibit 5-2)** The minimum required side yard setback is 15 feet, whereas a 10.3 feet exists with additional volume proposed within the setback.
 - b) **Section 150-29(A)(2)(Exhibit 5-2)** The minimum required rear yard setback is 30 feet, whereas a 11.3 feet exists with additional volume proposed within the setback.
 - c) **Section 150-29(A)(2)(Exhibit 5-2)** The maximum lot coverage is 15 percent, whereas a 16.4 percent exists and 23.9 percent is proposed.
- 5. It appears that the following existing non-conformities would remain with respect to this Application.
 - a) **Section 150-29(A)(2)(Exhibit 5-2)** The minimum required frontage is 100 feet, whereas 78.0 feet exists and is proposed to remain.
 - b) **Section 150-29(A)(2)(Exhibit 5-2)** The minimum required lot shape diameter is 65 feet, whereas 59.5 feet exists and is proposed to remain.
 - c) **Section 150-29(A)(2)(Exhibit 5-2)** The minimum required side yard setback for accessory buildings is 5 feet, whereas 2.9 feet exists and is proposed to remain.
 - d) **Section 150-54(A)(2)** Detached accessory buildings shall not be located in a front yard, whereas the shed exists forward of the principal structure and is proposed to remain.
- 6. The Applicant has requested several submission waivers and no additional waivers appear to be necessary.

S:\Atlantic Highlands\Project Files\HAHP0027.05 - Murray\24-02-06 Bulk Var. Rvw 1-Murray.docx



February 7, 2024 Our File: HAHP0027.05 Page 4

Due to the nature of this development application, our office would have no objection to the application being deemed **<u>CONDITIONALLY COMPLETE</u>**, conditioned upon the review from the Completeness Committee and approval by same, the application should be scheduled for a public hearing.

7. Based upon our review of the subject application, we estimate that the following fees are required:

Ordinance Section	Description	Application Fee	Escrow Fee
168-2H(4)	Hardship Variance (40:55D-70c)	\$150.00	\$350.00 (min)

We recommend the Borough collect \$150.00 in nonrefundable application fees and \$350.00 in professional services escrow fees from the Applicant prior to deeming the application complete.

- 8. The Applicant should be prepared to discuss the following issues with the Board:
 - a) Reasons supporting the granting of the requested bulk variances and/or design waivers and continuance of the existing condition nonconformities.
 - b) Applicant should provide testimony on the classification of lowest level as basement, cellar, or story and provide supporting calculations. Our calculations assume lowest level is basement. We note §150-6 states that 50% of the floor area of basements having a ceiling height of seven feet or greater shall be included in UFAR calculations.
 - c) Applicant to confirm height of existing shed.
 - d) Applicant should provide testimony on proposed demolition activities and identify which existing features are to be removed.
 - e) The Applicant should clarify the number of bedrooms in the existing and proposed conditions. It appears four (4) bedrooms are proposed.
 - f) Applicant should demonstrate conformance with parking requirements. We note four-bedroom residential homes require 2.5 off-street parking spaces.
 - g) The Applicant should discuss stormwater discharge resulting from the proposed improvements, noting that the property is located in the Borough's defined steep slope area. Should any portion of the post developed lot impact drainage conditions on the subject property or adjacent properties, the Applicant will be required to correct any deficiencies as directed by the Borough Engineer.
 - h) Applicant should demonstrate compliance with the steep slope requirements of Ordinance Section 150-78.D.
 - i) Any landscaping work including buffers, proposed plantings, and tree removal, including effects on adjacent properties.

S:\Atlantic Highlands\Project Files\HAHP0027.05 - Murray\24-02-06 Bulk Var. Rvw 1-Murray.docx



February 7, 2024 Our File: HAHP0027.05 Page 5

- j) Applicant should discuss construction access.
- k) Applicant should provide site photos depicting existing conditions.
- The Applicant shall be responsible for complying with all applicable requirements outlined in §163 (Excavation) of the Borough of Atlantic Highlands municipal code. Applicant should provide testimony confirming same.
- m) The Applicant should discuss compliance with all applicable requirements outlined in §150-89 (Improvement Standards) of the Borough of Atlantic Highlands municipal code.

The right is reserved to present additional comments pending the receipt of revised Plans and/or testimony of the Applicant before the Board.

If you have any questions with regard to the above matter, please do not hesitate to call.

Very truly yours,

CME Associates

Douglas M. Rohmeyer, PE, CME, CFM Planning Board Engineer

DMR/DEP/ATH

cc: Robert Ferragina – Borough Administrator Michael B. Steib, Esq. – Board Attorney Michelle Clark – Zoning Officer Kate Murray – Applicant Anthony M. Condouris, AIA – Applicant's Architect