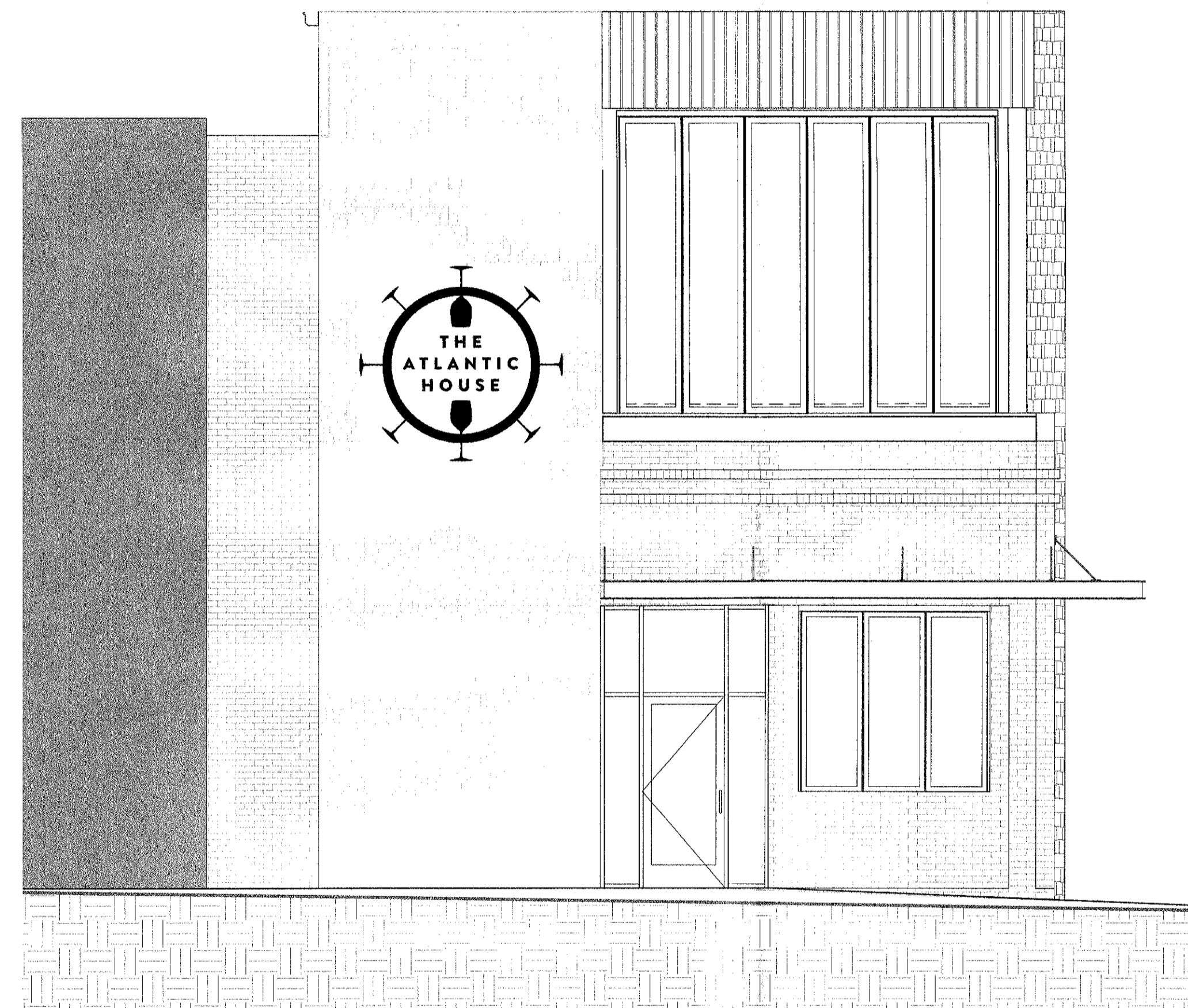


CROCKER ENTERPRISES ~ THE ATLANTIC HOUSE ~

ROOF DECK ALTERATION

67 FIRST AVE
ATLANTIC HIGHLANDS, NJ

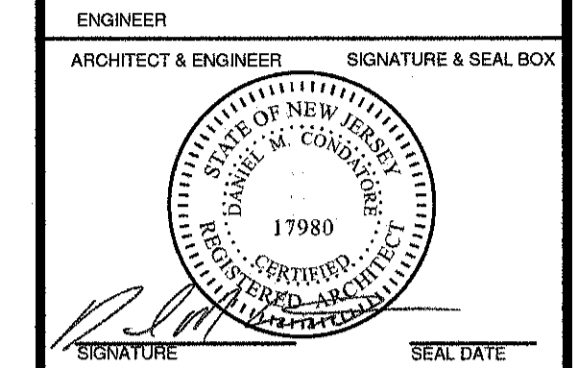


FRONT ELEVATION - 1 ST AVENUE Copy

② $\frac{1}{4}" = 1'-0"$

① 3D View 3 (DONT TOUCH)

mode
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~ THE ATLANTIC HOUSE ~

67 FIRST AVE.
ATLANTIC HIGHLANDS, NJ 07716

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ARCHITECTURAL ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR	MIN.	MINIMUM
B.O.	BOTTOM OF	NO.	NUMBER
CONC.	CONCRETE	N.T.S.	NOT TO SCALE
CTR.	COUNTERTOP	O.C.	ON CENTER
DEG.	DEGREES	REQ'D.	REQUIRED
DTL.	DETAIL	R.	RADIUS
DWG.	DRAWING	T&G	TONGUE AND GROOVE
EL.	ELEVATION	T.O.	TOP OF
EQ.	EQUAL	TYP.	TYPICAL
EXIST.	EXISTING	U.N.O.	UNLESS NOTED OTHERWISE
FL.	FLOOR	V.C.T.	VINYL COMPOSITION TILE
F.R.	FIRE RATED	V.I.F.	VERIFY IN FIELD
GA.	GAUGE	V.T.R.	VENT THROUGH ROOF
GYP. BD.	GYPSPUM BOARD	W/	WITH
H.M.	HOLLOW METAL	&	AND
MAX.	MAXIMUM	+/-	APPROXIMATE DIMENSION
MTL.	METAL	@	AT

SYMBOLS LEGEND

11	WALL TYPE INDICATOR
101A	DOOR INDICATOR
A	COLUMN LINE INDICATOR
100'-0	PLAN ELEVATION INDICATOR
5 A2	ENLARGED DETAIL INDICATOR
5 A2	DETAIL INDICATOR
1	SCALE
101	ROOM NAME
ROOM NAME AND NUMBER	
A5	EXTERIOR AND INTERIOR ELEVATION INDICATOR
8 SIM A3	FULL AND PARTIAL SECTION INDICATOR
KEYNOTE INDICATOR	
TB810	EQUIPMENT INDICATOR
COLOR INDICATOR	

CODE ANALYSIS

APPLICABLE BUILDING CODES

- 2018 INTERNATIONAL BUILDING CODE - NEW JERSEY EDITION.
- 2018 IMC: INTERNATIONAL MECHANICAL CODE.
- 2017 NEC: NATIONAL ELECTRICAL CODE (NFPA70).
- 2018 NSPC: NATIONAL STANDARD PLUMBING.
- ANSI A117.1 - 2009 ACCESSIBILITY INTERNATIONAL BUILDING CODE.
- 2015 IFC: THE INTERNATIONAL FIRE CODE
- 2002 NFPA 13: NATIONAL FIRE PROTECTION ASSOCIATION
- NEW JERSEY UNIFORM CONSTRUCTION CODE, LATEST EDITION.
- ASHRAE 90.1-2013 FOR COMMERCIAL INTERNATIONAL ENERGY CONSERVATION CODE.
- 2018 IFGC: INTERNATIONAL FUEL GAS CODE

USE AND OCCUPANCY CLASSIFICATION

EXISTING USE GROUP	A-2: ASSEMBLY
BUILDING DEPARTMENT CLASSIFICATION & NOTES	
CONSTRUCTION CLASS	VB
AUTOMATIC SPRINKLER SYSTEM	YES PER 903.2.1.2
BUILDING AREA (TABLE 506.2)	
ALLOWABLE	18,000 SF.
EXISTING	2,500 SF.
PROPOSED	NO CHANGE
BUILDING HEIGHT (TABLE 504.3)	
ALLOWABLE	60 FT
EXISTING	35.75 FT
PROPOSED	NO CHANGE

BUILDING STORIES (TABLE 504.4)

ALLOWABLE	2
EXISTING	3
PROPOSED	NO CHANGE

EXIT TRAVEL DISTANCE (1017.2) = 250 FT
MINIMUM NUMBER OF EXITS REQUIRED (TABLE 1006.3.1) = 2
EXIT ACCESS STAIRS COMPLY WITH 1019.3.1

EXIT ACCESS STAIRWAYS AND RAMPS THAT SERVE OR ATMOSPHERICALLY COMMUNICATE BETWEEN ONLY 2 STORIES, SUCH INTERCONNECTED STORIES SHALL NOT BE OPEN TO OTHER STORIES.

STAIRWAY WIDTH COMPLY WITH 1011.2 EXCEPTION 1

FIRE SEPARATION DISTANCE (TABLE 602) : 0-5 = 1 HOUR. WALL IS NOT SHARED SO THEREFORE IS NOT DEFINED AS PARTY WALL

PLUMBING FIXTURES (PER TABLE 7.21.1 FROM 2015 NSPC)

ACTUAL BUILDING OCCUPANTS = 136	
REDUCTION BASED ON 7.21.2 LINE B = 136 x .66 = 90	
CUSTOMER SEATING LOAD IS LESS THAN 100 (7.21.8a).	
PER CODE 50% MALE AND 50% FEMALE	
LAVATORY REQUIREMENTS:	3 M. & 3 F. PROVIDED
1 MALE AND 1 FEMALE REQUIRED	
WATER CLOSET REQUIREMENTS:	3 M. & 3 F. PROVIDED
3 MALE AND 3 FEMALE REQUIRED	
DRINKING FOUNTAINS: Reference Note 2	
0 DRINKING FOUNTAIN REQUIRED	
SERVICE SINK REQUIREMENTS: 1 PER FLOOR	0 PROVIDED
1 SERVICE SINK REQUIRED	1 PROVIDED

OWNER

PROJECT LOCATION

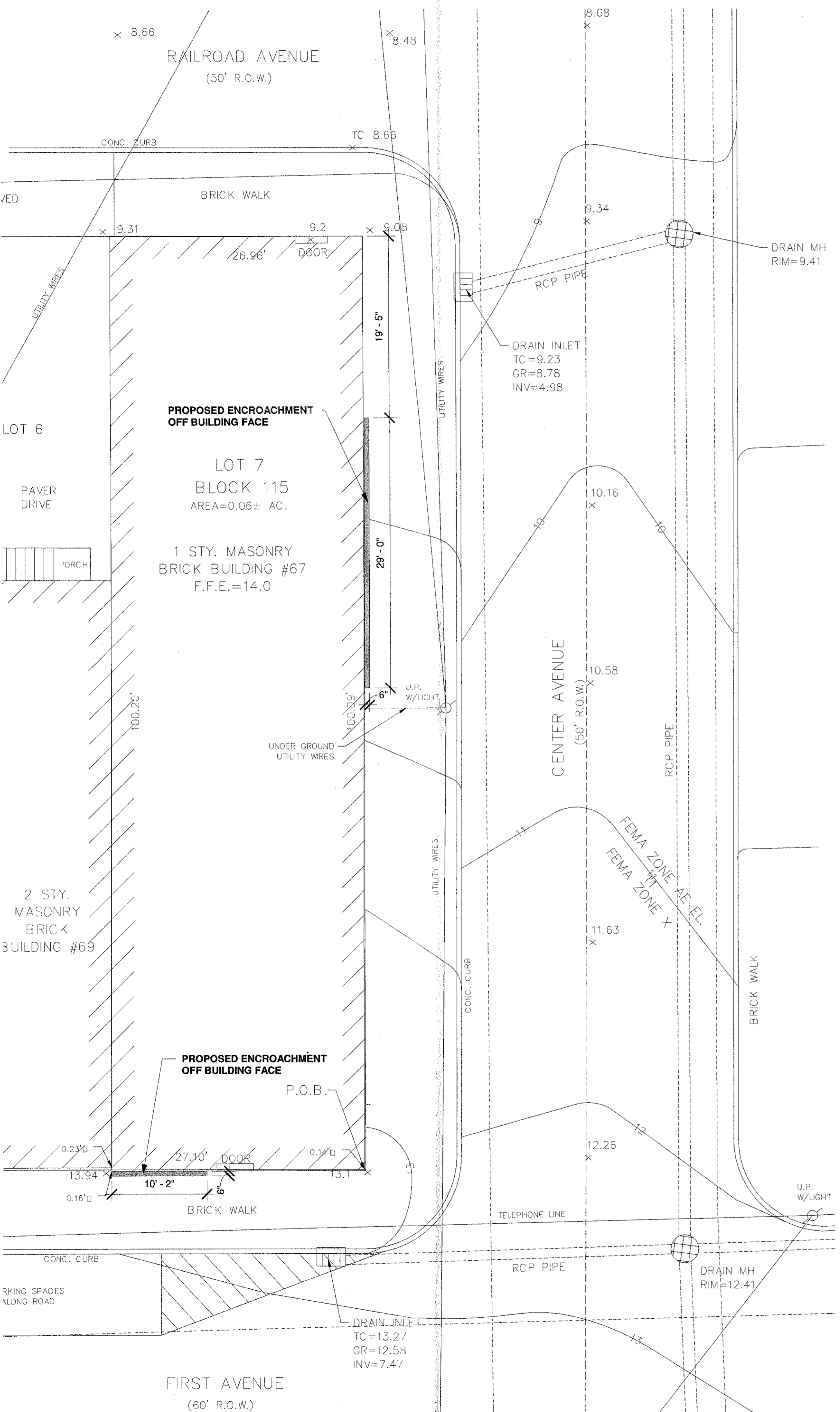
No.	REVISIONS / ISSUES	DATE
1	SITE PLAN SUBMISSION	04/08/2022

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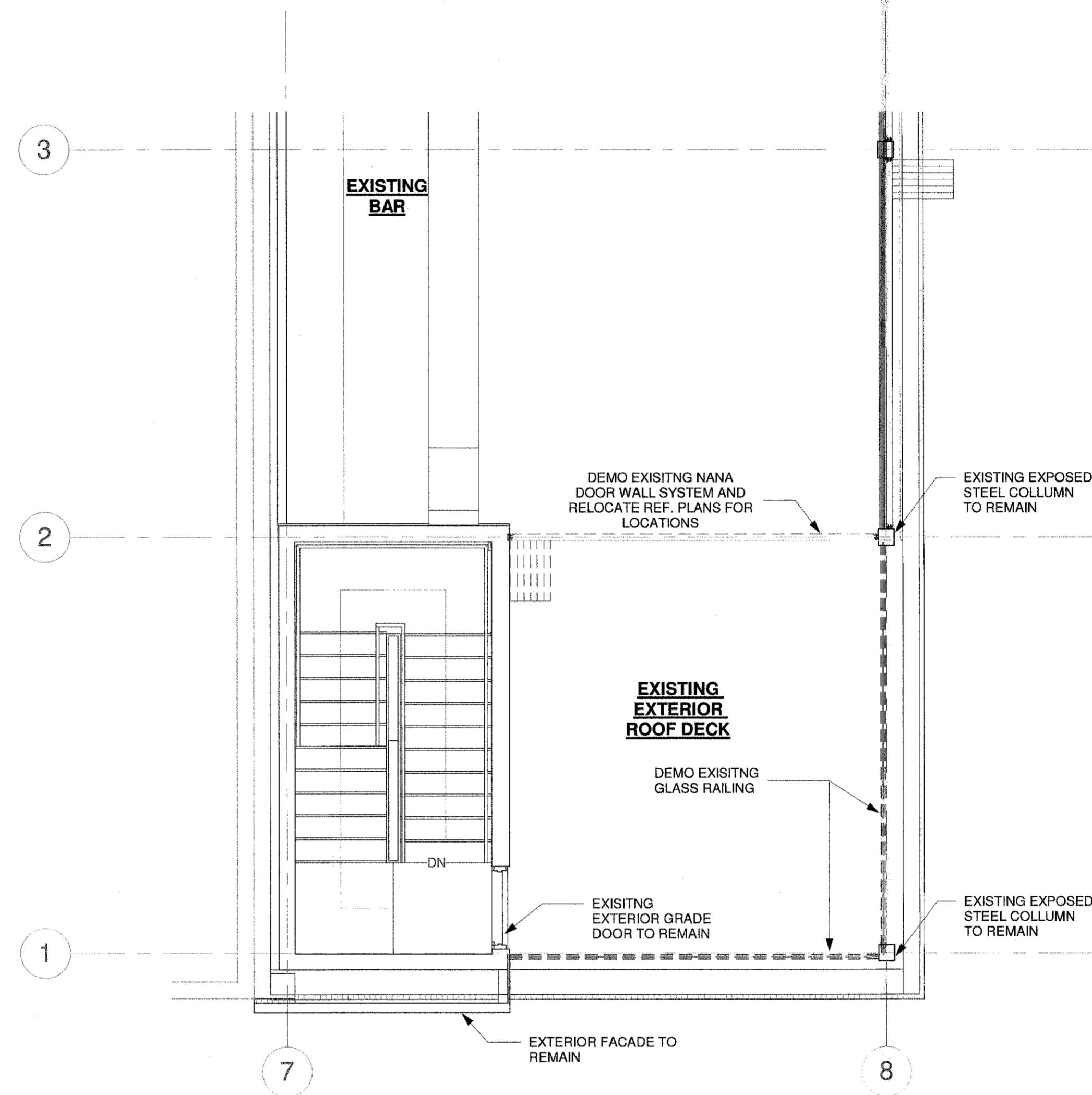
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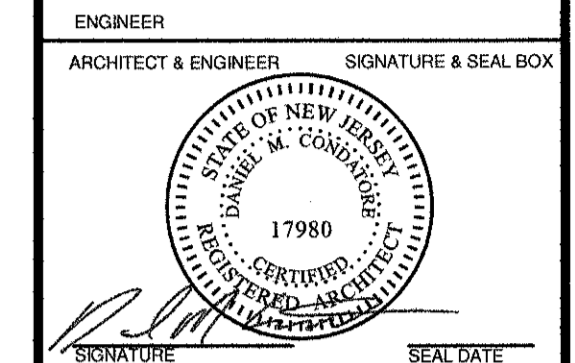
DRAWING NO:
.C100



1 SITE PLAN
 1/8" = 1'-0"



2 ROOF DECK DEMO PLAN
 1/4" = 1'-0"



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 67 FIRST AVE.
 ATLANTIC HIGHLANDS, NJ 07716

OWNER PROJECT LOCATION

No.	REVISIONS / ISSUES	DATE
1	SITE PLAN SUBMISSION	04/08/2022

CHECKED BY: DMC DRAWN BY: DMC
 SCALE: DRAWING TITLE:

SITE PLAN

DRAWING NO. .S100

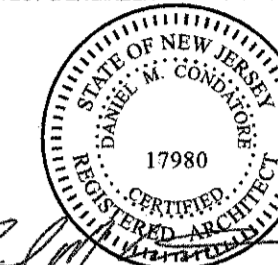
mode

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ENGINEER

ARCHITECT & ENGINEER SIGNATURE & SEAL BOX



SIGNATURE SEAL DATE

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OWNER

PROJECT LOCATION

No.	REVISIONS / ISSUES	DATE
1	SITE PLAN SUBMISSION	04/08/2022

CHECKED BY: DMC DRAWN BY: DMC

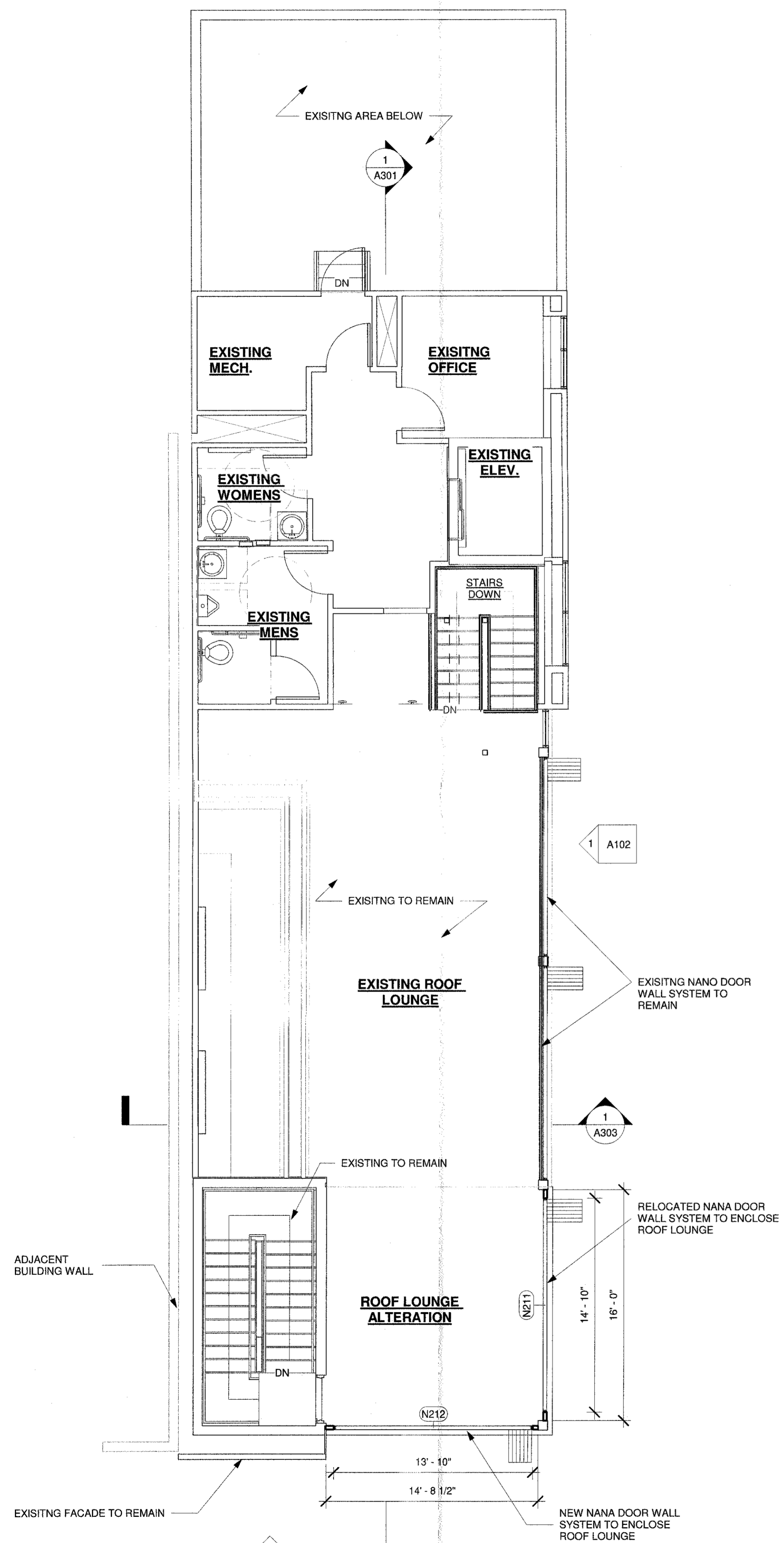
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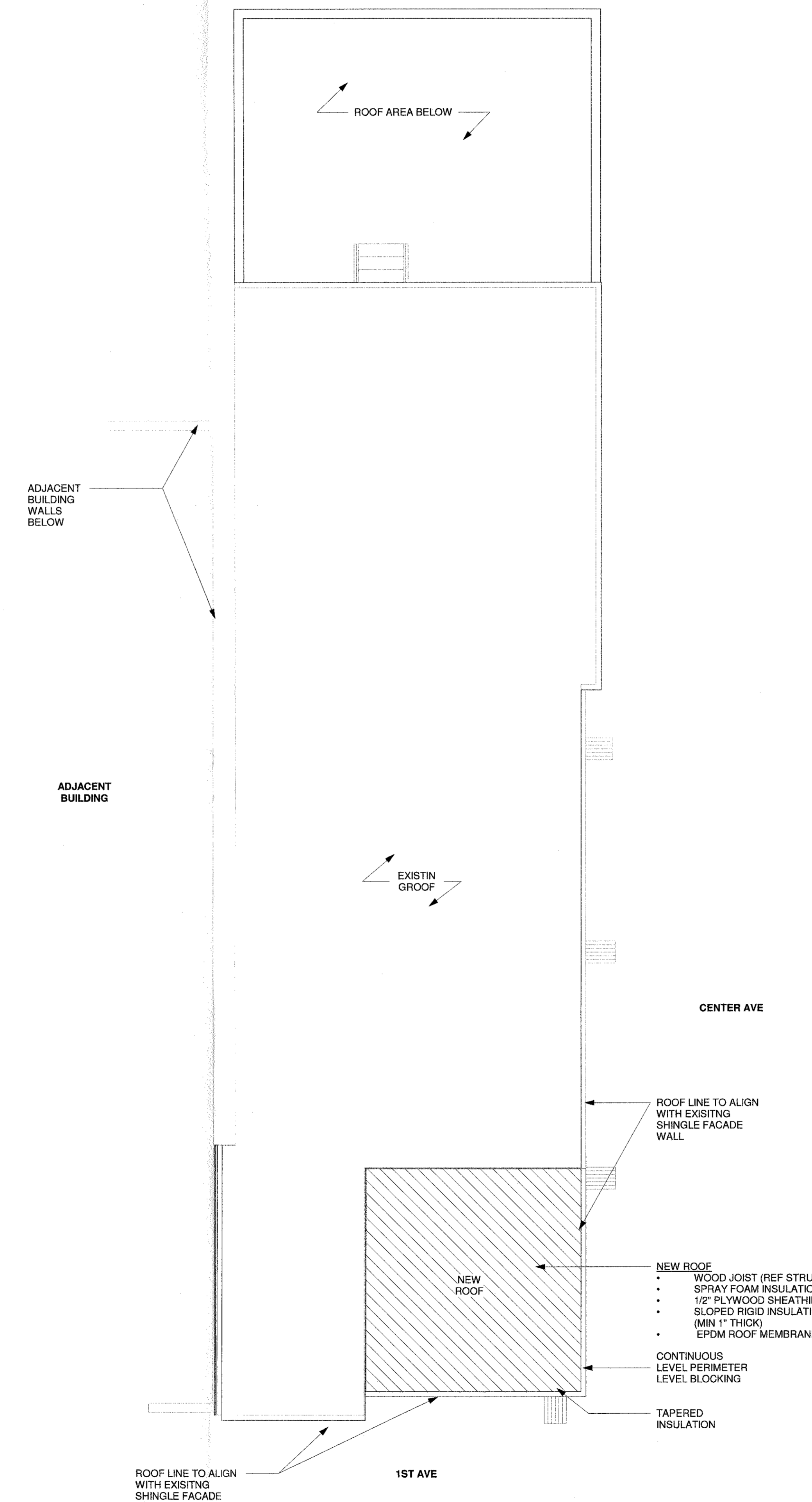
LOWER ROOF AND ROOF DECK PLAN

DRAWING NO.

A101



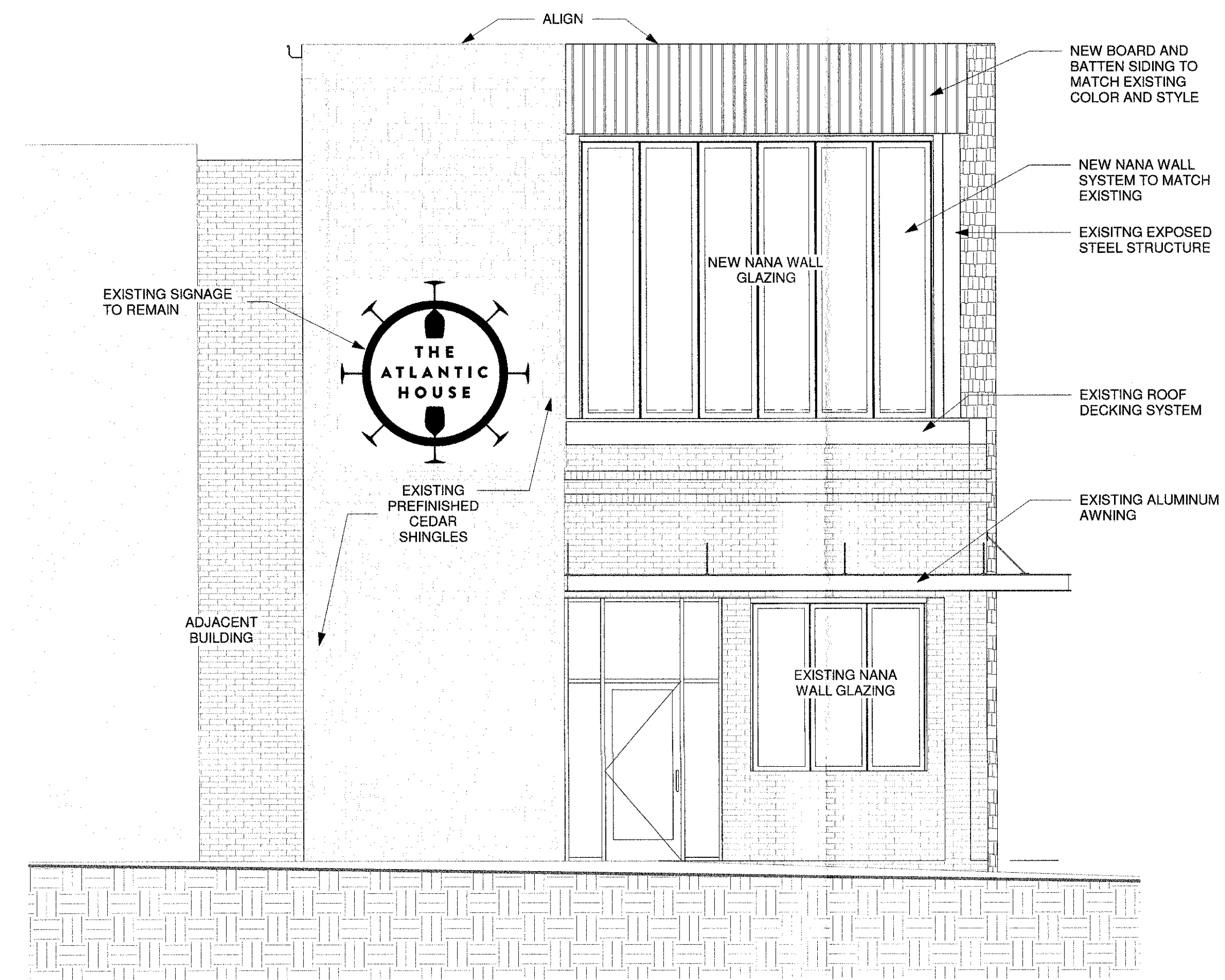
1 ROOF DECK ALTERATION
3/16" = 1'-0"



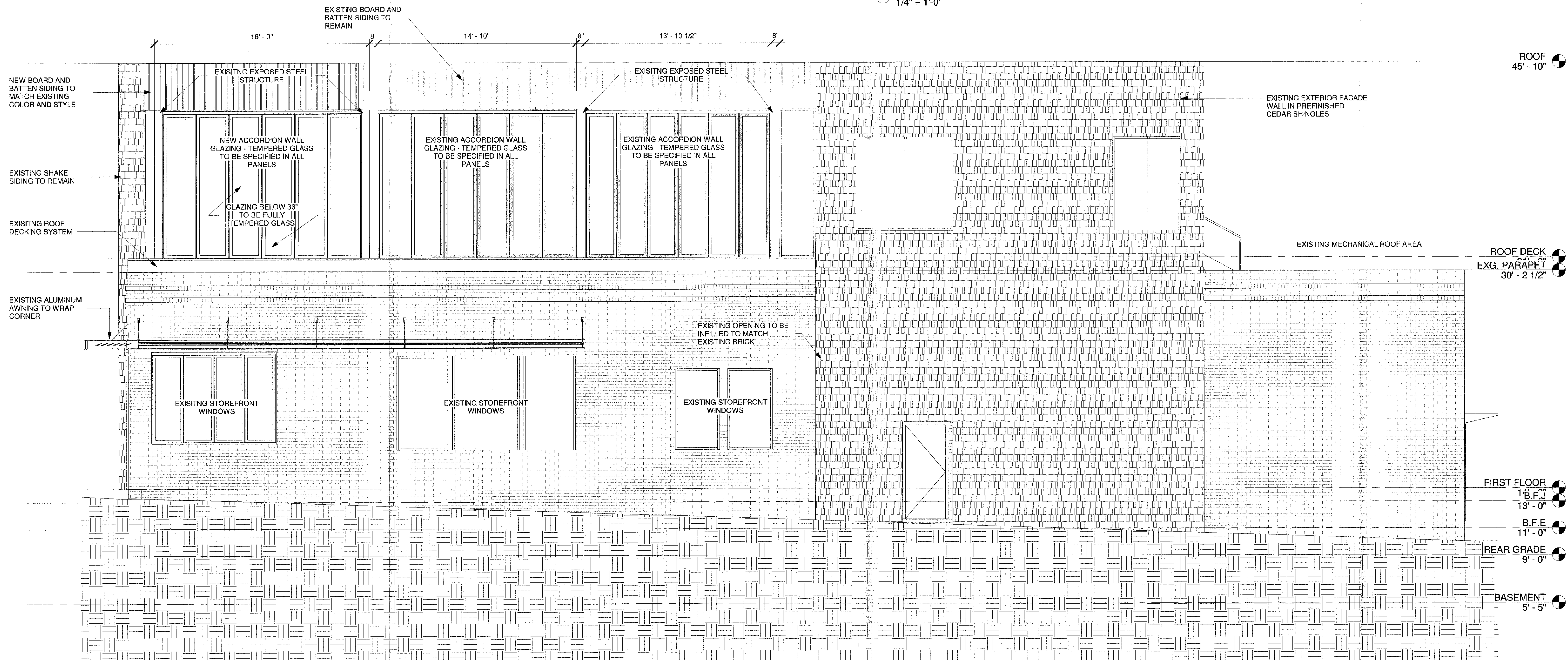
2 ROOF PLAN - ALTERATION
3/16" = 1'-0"

ZONING ANALYSIS

BOROUGH OF ATLANTIC HIGHLANDS			
BLOCK: 115	LOTS: 7	LOT AREA: 2,700 S.F.	
BUILDING ZONE: HBD (HISTORIC BUSINESS DISTRICT (150-29 (A)(2) EXHIBIT 5-2)			
	MIN. REQUIRED	EXISTING	PROPOSED
LOT AREA:	4,000 SF	2,700 SF	NO CHANGE
LOT FRONTAGE:	40 FT	27.00 FT	NO CHANGE
LOT WIDTH:	40 FT	27.00 FT	NO CHANGE
LOT SHAPE DIAMETER:	35 FT	27.00 FT	NO CHANGE
BUILDING COVERAGE:	100% MAX	100%	NO CHANGE
IMPERVIOUS COVERAGE:	100% MAX	100%	NO CHANGE
FRONT SETBACK: 1ST AVE	0 FT	.16' FT	NO CHANGE
FRONT SETBACK: CENTRAL AVE	0 FT	.14' FT	NO CHANGE
REAR SETBACK:	0 FT	.04 FT	NO CHANGE
SIDE SETBACK:	0 FT	.01 FT	NO CHANGE
COMBINED SIDE:	0 FT	N/A	NO CHANGE
BUILDING HEIGHT:	3 STORIES: 40 FT	2 STORIES	NO CHANGE
MAX USABLE FLOOR RATIO:	3.0	.7	NO CHANGE



2 FRONT ELEVATION - 1 ST AVENUE
1/4" = 1'-0"



1 FRONT ELEVATION - CENTER AVE
1/4" = 1'-0"

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ENGINEER
ARCHITECT & ENGINEER SIGNATURE & SEAL BOX
17980
SIGNATURE SEAL DATE

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67 FIRST AVE.
ATLANTIC HIGHLANDS, NJ 07716

OWNER	PROJECT LOCATION
No. REVISIONS / ISSUES	DATE
1 SITE PLAN SUBMISSION	04/08/2022
CHECKED BY: DMC	DRAWN BY: DMC
SCALE:	
DRAWING TITLE:	EXTERIOR ELEVATIONS
DRAWING No.	A102