

ATLANTIC HIGHLANDS PLANNING BOARD

APPLICATION FOR VARIANCE

1. I/we Javier Torres, the applicant(s) herein, whose mailing address is 148 Bayside Drive, Atlantic Highlands, NJ

and whose phone number is 201-463-5206 am/are the owner/contractor of property located at 148 Bayside Drive, Atlantic Highlands, NJ

also designated as Block 1, Lot(s) 7 on the Tax Map of the Borough of Atlantic Highlands.

2. The Property is in the R-3 Zone, it has street frontage of _____ feet and an average depth of _____ feet and an area of _____ square feet.

3. The proposed percentage of lot coverage by both the existing structure and proposed additions will be _____.

4. The following structures, buildings and/or uses are located on the property:

RECEIVED

5. Application is hereby made for a variance to:

DEC 13 2022

6. The reason for this request and the grounds urged for the relief are as follows:

PLANNING BOARD

7. The section(s) of the Borough Zoning Ordinance upon which this application is based is: _____

8. Property Tax & Water Bills have been paid through the 4th quarter of 2022.

9. Has the property been separated from a larger tract of land? Yes _____ No X If yes, when? _____
Has the Planning Board approved the subdivision Yes _____ No _____ If yes, when? _____

10. If there has been any previous appeal or application to the Planning Board involving the premises, state:

Date of Filing: _____
Character of Appeal _____
Disposition: _____

I/We the undersigned, certify that of all of the statements contained herein are true and correct to the best of my/our knowledge, information and belief.

Applicant Signature [Signature]

Date 12/5/22

Applicant Signature _____

Date _____

Location sketch shall include the exact location of the property in question, giving the tax map lot and block numbers, the name of the street, the approximate distance to the nearest cross street and the direction of North. For a variance from the required minimum area or setbacks, the sketch should locate the buildings on the property. Show any other particulars that you would consider important for the Board to render its decision.

INTERIOR RENOVATIONS + DORMER ADDITION + DECK ADDITION: TORRES RESIDENCE

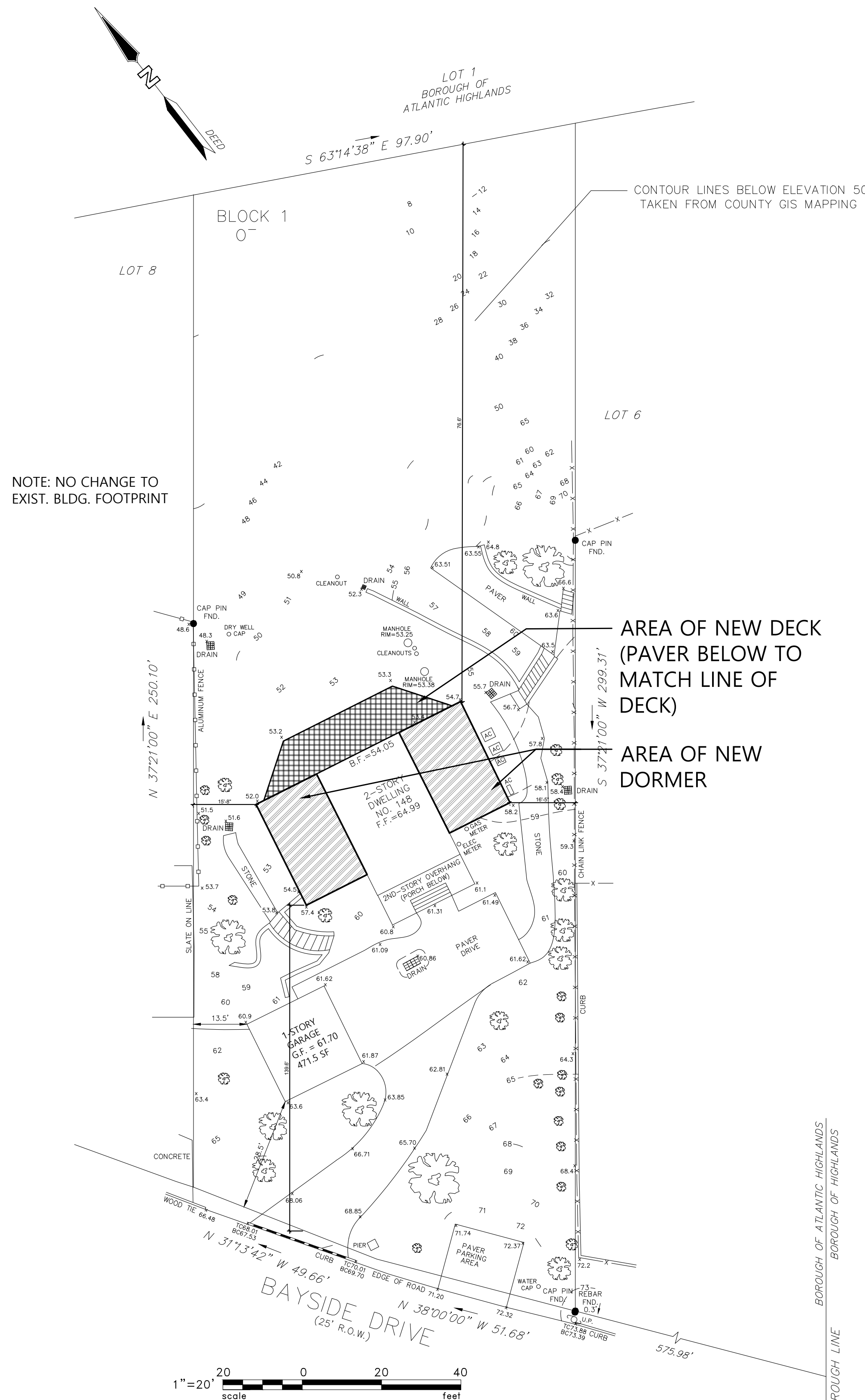
148 BAYSIDE DRIVE | ATLANTIC HIGHLANDS, NJ 07716

RM
117

ARCHITECTURE + DESIGN

INTERIOR RENOVATIONS + DORMER
ADDITION + DECK ADDITION:
TORRES RESIDENCE

148 BAYSIDE DRIVE
ATLANTIC HIGHLANDS, NJ 07716



NOTE: NO CHANGE TO EXIST. BLDG. FOOTPRINT

PROJECT NARRATIVE

THE EXISTING 2-1/2 STORY RESIDENCE'S FOOTPRINT TO REMAIN THE SAME. TOWARDS THE REAR OF THE HOUSE, AT EACH LOFT SPACE WE WILL BE ADDING A DORMER TO BOTH THE RIGHT AND LEFT SIDE OF THE HOUSE. WE WILL ALSO BE ADDING TWO DECKS, ONE OFF THE LOFT SPACE AND A SECOND ACCESSIBLE FROM THE LOFT SPACE DECK. WE WILL ALSO BE EXTENDING THE EXISTING DECK OFF THE MAIN LEVEL. THERE WILL BE MINOR, NON STRUCTURAL INTERIOR RENOVATIONS TO THE FIRST FLOOR.

DRAWING INDEX

A.001	EXISTING & PROPOSED SITE PLANS & ZONING ANALYSIS
A.101	EXIST AND PROPOSED FIRST & SECOND PLANS
A.102	EXIST AND PROPOSED BASEMENT PLAN & PROPOSED ROOF PLAN
A.201	EXISTING AND PROPOSED ELEVATIONS
A.202	EXISTING AND PROPOSED ELEVATIONS



3 EXISTING PHOTOS
SCALE: N.T.S.



ZONING ANALYSIS

ZONE: R-3	BLOCK: 1	LOT: 7	RB	
LOT AREA:	26,594.2 S.F.			
	EXISTING	ADDED	TOTAL	
FIRST FLOOR AREA	961 S.F.	0 S.F.	961 S.F.	
SECOND FLOOR AREA	0 S.F.	845 S.F.	845 S.F.	
TOTAL LIVING AREA:	961 S.F.	845 S.F.	1,806 S.F.	
GARAGE	471.5 S.F.	0 S.F.	NO CHANGE	
BASEMENT	845 S.F.	0 S.F.	NO CHANGE	
	REQUIRED	EXISTING	PROPOSED	VARIANCE
LOT				
AREA	30,000 SF	26,594 SF	17,253.5 SF	
WIDTH	100 FT	101.34 FT	NO CHANGE	
DEPTH	100 FT	299.31 FT	NO CHANGE	
YARDS				
FRONT	25 FT	28.52 FT	NO CHANGE	
RIGHT SIDE	15 FT	16.5 FT	NO CHANGE	
LEFT SIDE	15 FT	15.8 FT	NO CHANGE	
REAR	30 FT	137.88 FT	NO CHANGE	
MAX. HEIGHT (A)	35 FT - 2-1/2 STORIES	31'-6"	NO CHANGE TO OVERALL HT.	
* PLEASE NOTE THAT THE USABLE AREA FOR ZONING CALCULATIONS HAS BEEN REDUCED BY STEEP SLOPE.				
ACCESSORY BUILDING				
SETBACK SIDE YARD	10 FT	13.35 FT	NO CHANGE	
SETBACK REAR YARD	5 FT	28.5 FT	NO CHANGE	
MAX. COVERAGES				
BUILDING COVERAGE (MAX)	12%	14%	14%	
IMPERVIOUS COVERAGE (MAX)	30%	22%	22%	
LOT COVERAGE (MAX)	5,635.88 SF	6,196 SF	6,196 SF	
BEDROOMS				
EXISTING BEDROOMS	3 BEDROOMS	PROPOSED BEDROOMS	5 BEDROOMS	

1 PROPOSED SITE
A.001 SCALE: N.T.S.

THIS SITE PLAN WAS DEVELOPED USING A SURVEY TAKEN BY CHARLES SURMONTE P.E. & P.L.S., NJ PROFESSIONAL ENGINEER AND SURVEYOR, LICENSE NO.35886. SURVEY DATED 3/18/19

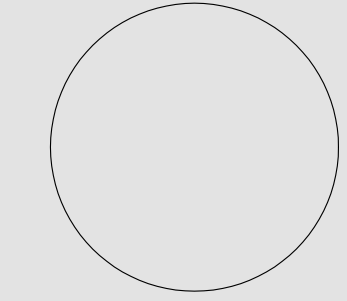
SUBMISSION:
Zoning 5-23-23

REVISIONS

DATE: 5.23.2023
PROJECT NO.: 22006
DRAWN BY: RA
CHECKED BY: AH + TD

SCALE: AS NOTED
EXISTING SITE PLANS +
ZONING ANALYSIS
PHOTOS

A.001



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SUBMISSION:
Zoning 5-23-23

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DATE: 5.23.2023
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SCALE: AS NOTED
EXISTING FIRST FLOOR PLAN
EXISTING LOFT SPACE PLAN
PROPOSED FIRST FLOOR PLAN
PROPOSED LOFT SPACE PLAN

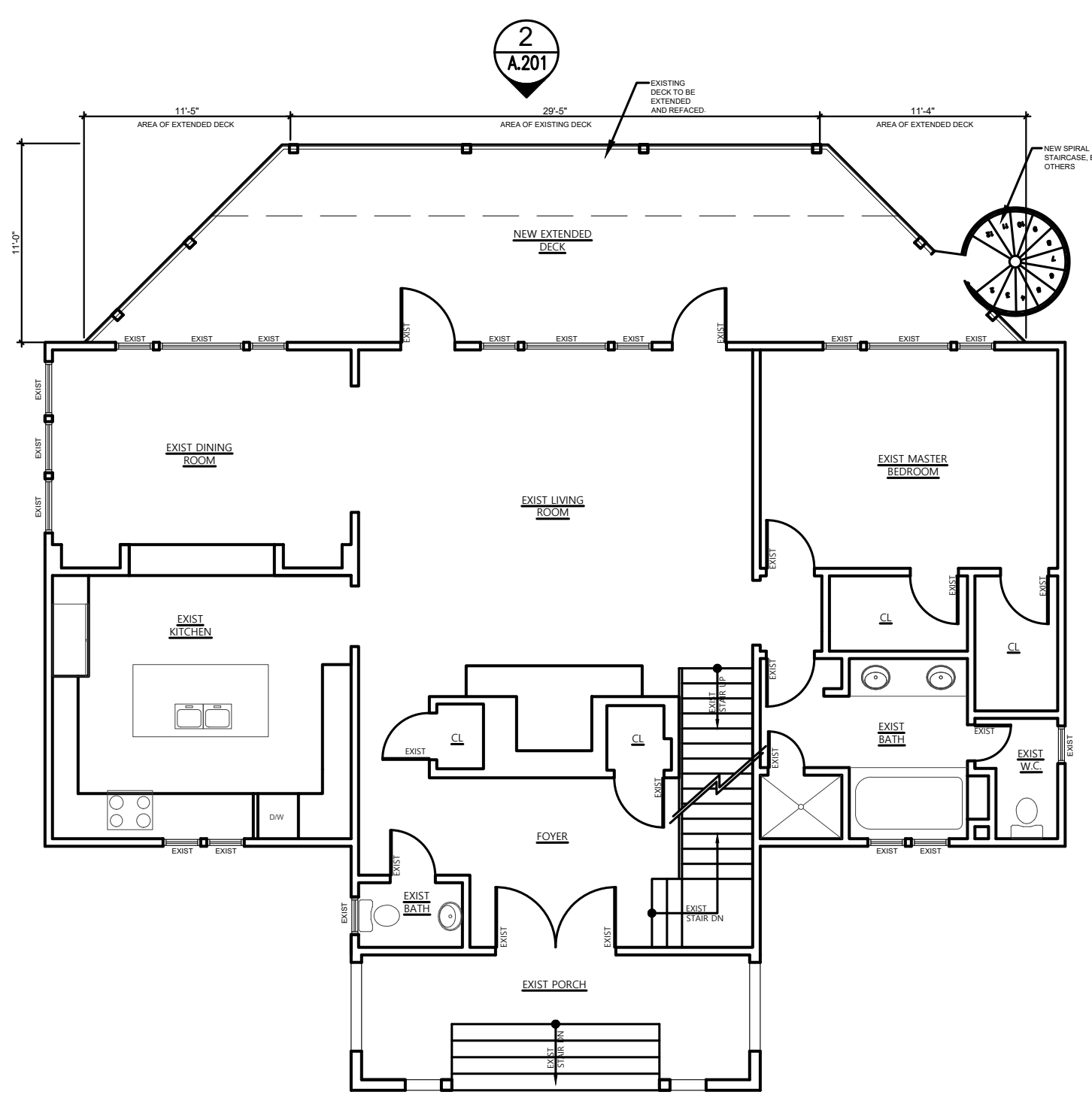
WALL LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE DEMOLISHED
	PROPOSED WALLS (SEE NOTES FOR DETAILS) INSTALL 2X4S @ 16" O.C. WITH 1/2" THICK GYPSUM BOARD INTERIOR FINISH BOTH SIDES. INSTALL ACOUSTIC INSULATION. INSTALL 1/2" THK. M.R. GYPSUM BOARD. IN HUMID AREAS, INSTALL 2X4 BOTTOM PLATE + (2)2X4 TOP PLATE AS PER CODE
	PROPOSED FOUNDATION WALLS (SEE NOTES FOR DETAILS)

CODE INFORMATION	
1.	THESE DRAWINGS COMPLY WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE NJ EDITION

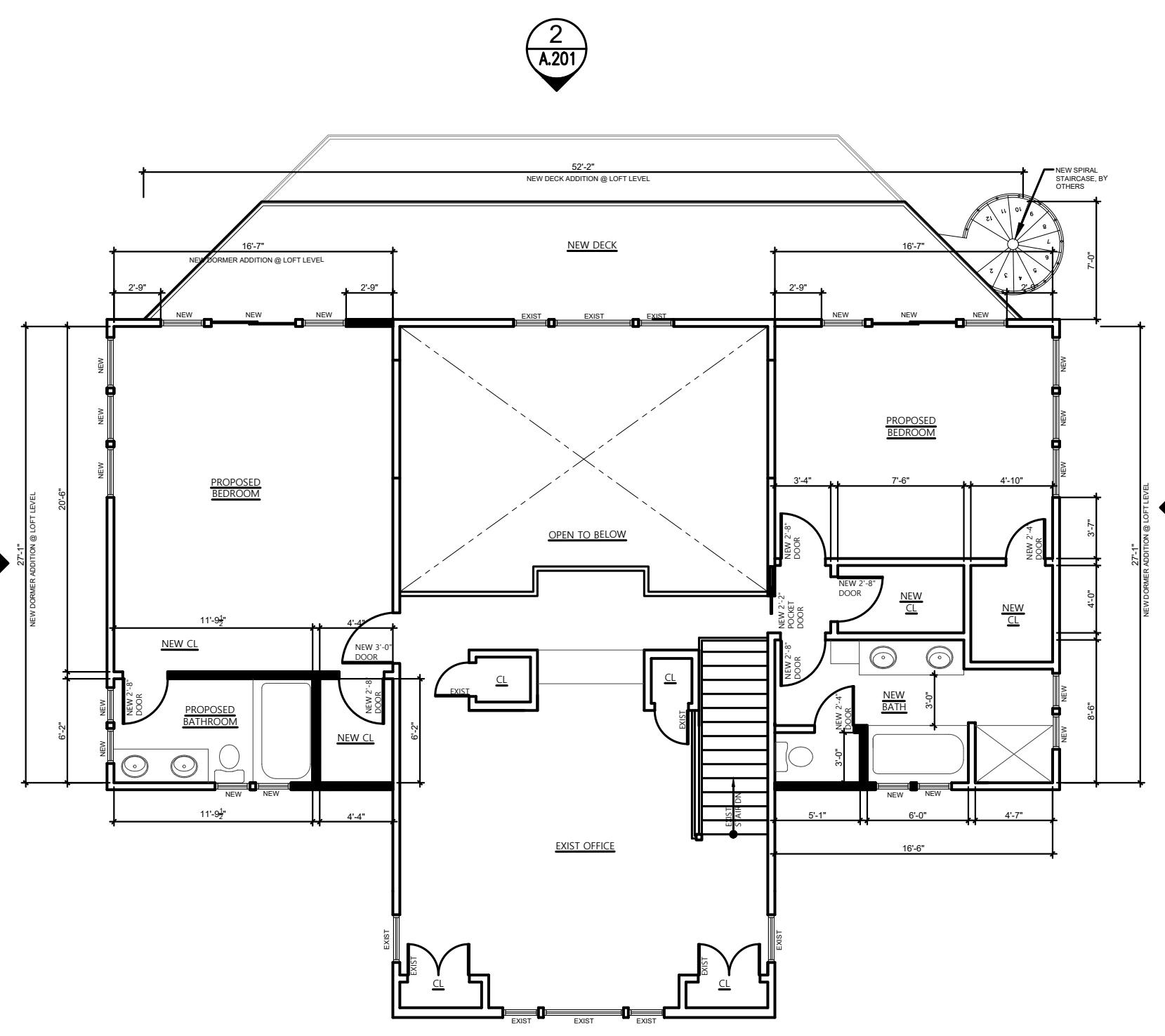
MECHANICAL	
1.	HVAC DRAWINGS TO BE FILED AS AN UPDATED LATER. HVAC DESIGN TO BE BY LICENSED MECHANICAL CONTRACTOR

GENERAL PLUMBING NOTES	
1.	CONTRACTOR SHALL PROVIDE ALL REQUIRED VALVES, SHUT-OFFS, CLEAN-OUTS, TRAPS, ACCESS PANELS, ETC., NECESSARY FOR A COMPLETE SYSTEM
2.	INSULATE ALL WATER SUPPLY PIPING
3.	ALL WATER SUPPLY PIPING TO BE COPPER (PEC TYPE FLEXIBLE WATER LINES AS ALT.)
4.	ALL SANITARY LINES TO BE PVC WRAPPED IN ACOUSTIC INSULATION. VERTICAL RISERS + HORIZONTAL RUNS TO TOILETS + SHOWERS TO BE CAST IRON W/ HUBLESS CONNECTORS
5.	ALL PLUMBING WORK TO CONFORM TO THE NATIONAL PLUMBING CODE AND LOCAL HEALTH CODE
6.	ALL HORIZONTAL DRAIN LINES TO PITCH 1/4" PER FOOT MINIMUM
7.	INSTALL ANTI-AIR HAMMER COIL
8.	ADD WATER SOFTENER
9.	INSTALL NEW WATER SUPPLY LINE TO STREET

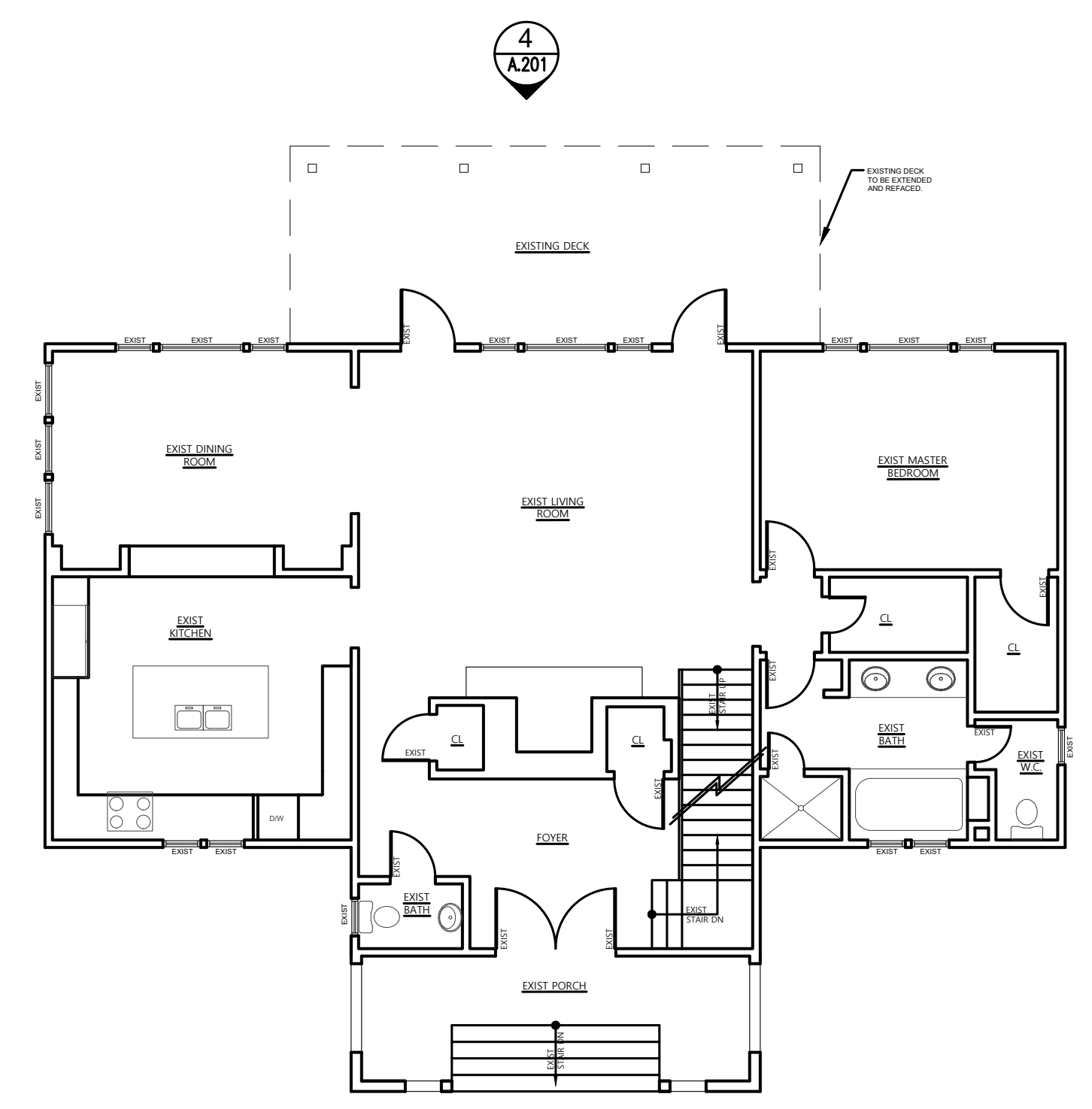
PLUMBING NOTES	
P1	INSTALL TOILET SELECTED BY OWNER. INSTALL AS PER MANU. SPECS. & RECOMM. INSTALL 4" DIA SAN. CONNECTION. INSTALL 1/2" DIA COLD WATER SUPPLY LINES W/ SHUT-OFF VALVE
P2	INSTALL CUSTOM SHOWER SELECTED BY OWNER. INSTALL AS PER MANU. SPECS. & RECOMM. INSTALL DIA 2" SANITARY LINE (2-1/2" IN MASTER BATH SHOWER). INSTALL 1/2" DIA HOT & COLD WATER SUPPLY LINES W/ SHUT-OFF VALVE (3/4" DIA IN MASTER BATH SHOWER). INSTALL GLASS SHOWER ENCLOSURE AND CERAMIC SHELVES AND TILE FINISH SELECTED BY OWNER.
P3	INSTALL LAVATORY W/ FAUCET & FITTINGS SELECTED BY OWNER. INSTALL AS PER MANU. SPECS. & RECOMM. INSTALL 1 1/2" DIA SANITARY LINE. INSTALL 1/2" DIA HOT & COLD WATER SUPPLY LINES W/ SHUT-OFF VALVE.
P4	INSTALL CLOTHES WASHER SELECTED BY OWNER. INSTALL 2" DIA WASHER HOOK-UP TO 2" DIA SANITARY. INSTALL 1/2" DIA HOT & COLD WATER SUPPLY LINES W/ SHUT-OFF VALVE.
P5	INSTALL SHEET METAL DRYER VENT TO EXTERIOR.
P6	INSTALL FLOOR DRAIN IN LAUNDRY ROOM SET IN TILE FLOOR W/ WATERPROOFING MEMBRANE UNDERNEATH. INSTALL 2" DIAMETER SANITARY LINE. INSTALL AUTO-TRAP FILLER AS PER CODE.
P7	INSTALL 1/4" DIA. FLEXIBLE COPPER COLDWATER SUPPLY TUBING CONNECTED TO REFRIGERATOR (V.I.F.) W/ SHUT-OFF VALVE. INSTALL WATER FILTER SELECTED BY OWNER IN CELLAR.
P8	INSTALL KITCHEN SINK W/ FAUCET & FITTINGS SELECTED BY OWNER. INSTALL AS PER MANU. SPECS. & RECOMM. INSTALL 2" DIA SAN. LINE. INSTALL 1/2" DIA HOT & COLD WATER SUPPLY LINES W/ SHUT-OFF VALVES. INSTALL BATCH FEED GARBAGE DISPOSAL SELECTED BY OWNER. INSTALL AS PER MANU. SPECS. & RECOMM. PROVIDE ELEC. CONN. AS REQ'D.
P9	INSTALL DISHWASHER SELECTED BY OWNER. INSTALL AS PER MANU. SPECS. & RECOMM. INSTALL "T" CONNECTION TO SINK TRAP. INSTALL 1/2" DIA HOT WATER SUPPLY LINE W/ SHUT-OFF VALVES. PROVIDE ELECTRICAL CONNECTION AS REQUIRED.
P10	INSTALL EXTERIOR WATER SPIGOT W/ DEEP VALVE. INSTALL 1/2" DIA COLDWATER SUPPLY LINE WITH SHUT-OFF VALVE INSIDE BASEMENT.
P11	INSTALL BATHTUB SELECTED BY OWNER. INSTALL AS PER MANU. SPECS. & RECOMM. INSTALL 2" DIA SANITARY LINE. INSTALL 1/2" DIA HOT & COLD WATER SUPPLY LINES W/ SHUT-OFF VALVE.



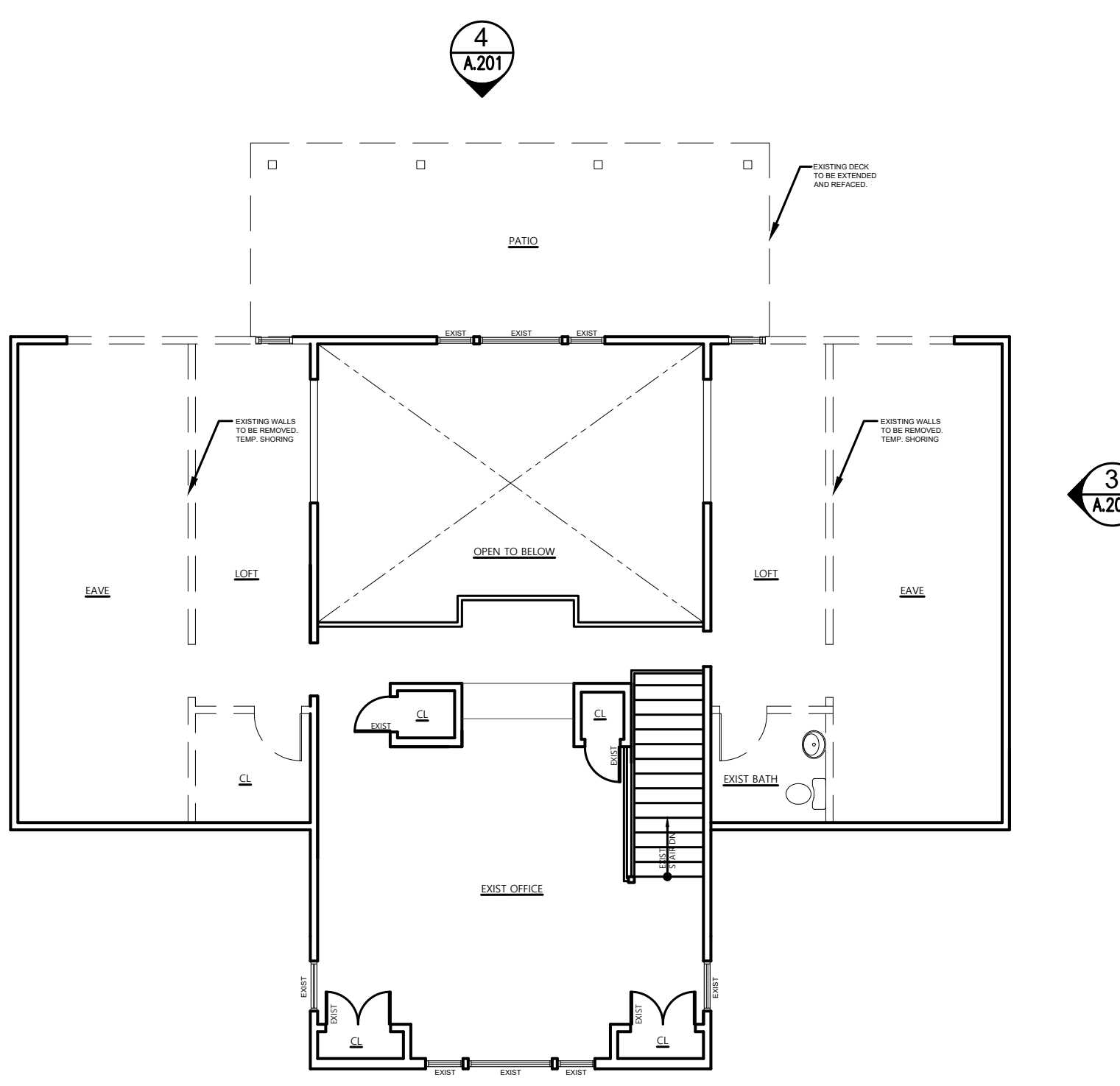
1 PROPOSED FIRST FLOOR PLAN
A.101 SCALE: 1/8"=1'-0"



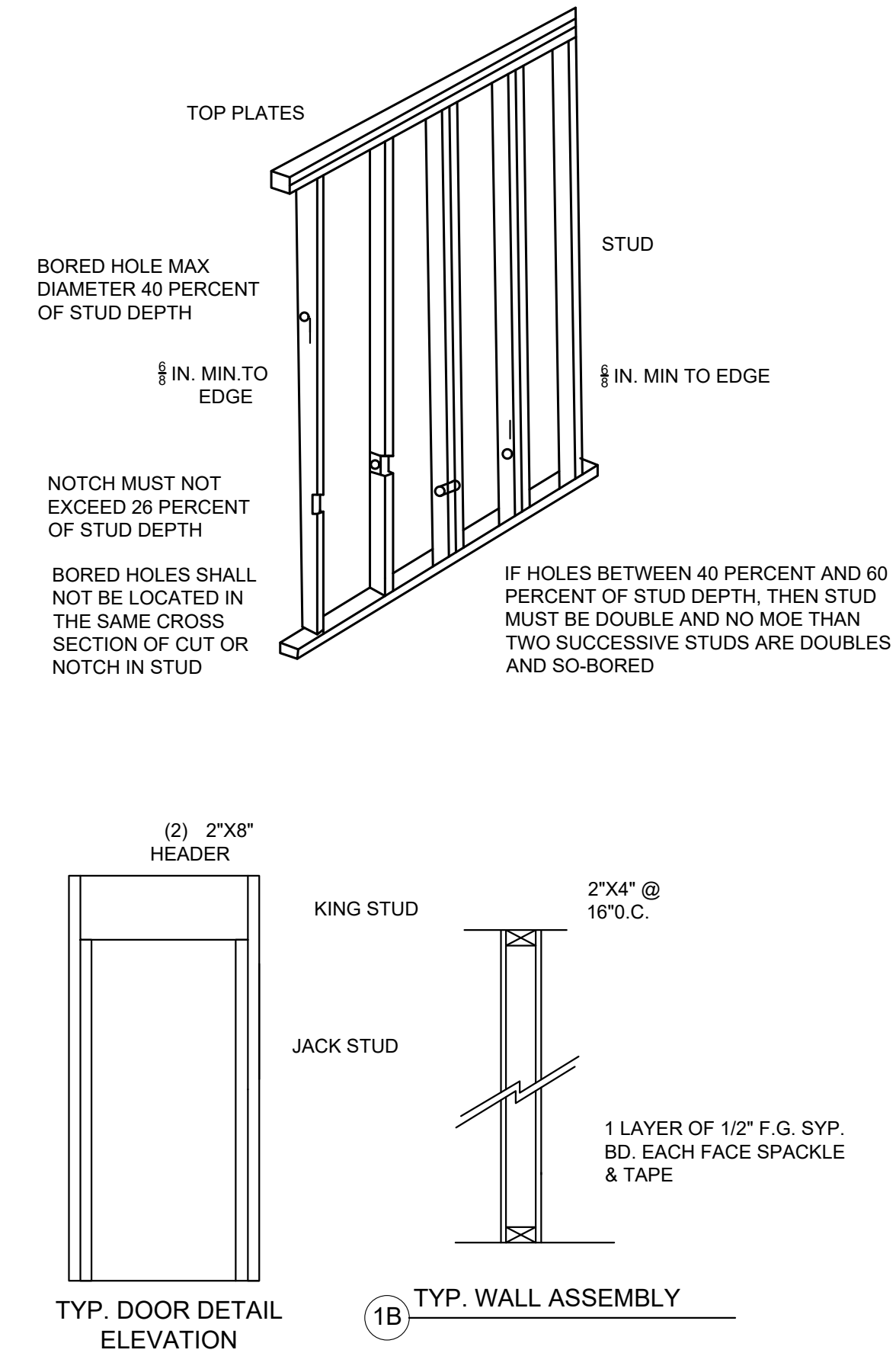
2 PROPOSED LOFT SPACE FLOOR PLAN
A.101 SCALE: 1/8"=1'-0"



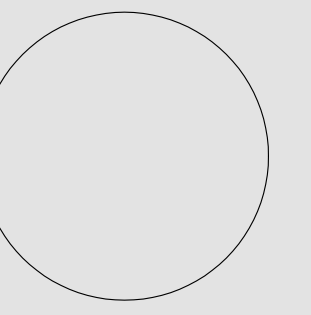
3 EXISTING/ DEMO FIRST FLOOR PLAN
A.101 SCALE: 1/8"=1'-0"



4 EXISTING/ DEMO LOFT SPACE FLOOR PLAN
A.101 SCALE: 1/8"=1'-0"



1B TYP. WALL ASSEMBLY



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SCALE: AS NOTED

EXISTING AND PROPOSED
BASEMENT PLANS +
PROPOSED ROOF PLAN

ELECTRICAL LEGEND

SYMBOL	DESCRIPTION
	SINGLE POLE SWITCH WITH CIRCUITING DESIGNATION
	EXIT SIGN TO BE HARDWIRED WITH BATTERY BACKUP
	CARBON MONOXIDE DETECTOR TO BE HARDWIRED WITH BATTERY BACKUP
	SMOKE DETECTOR TO BE HARDWIRED WITH BATTERY BACKUP
	STROBE LIGHT TO BE HARDWIRED WITH BATTERY BACKUP
	CEILING MOUNTED LIGHT FIXTURE ON A SINGLE POLE (PHOTOCELL @ CORRIDORS)
	CEILING MOUNTED COMBINATION LIGHT FIXTURE/EXHAUST FAN
	WALL MOUNTED LIGHT FIXTURE
	ELECTRICAL OUTLET
	ELECTRICAL OUTLET - GROUND FAULT INTERRUPTER
	MOTION CENSORED LIGHT
	ROMEX WIRE
	ELECTRICAL OUTLET - GROUND FAULT INTERRUPTER
	LIGHTING CIRCUITRY

NAIL SCHEDULE WOOD FRAME CONSTRUCTION MANUAL TABLE 3.1, 2001 EDITION

JOINT DESCRIPTION	#/COMMON NAILS	NAIL SPACING
ROOF FRAMING		
RAFTER TO TOP PLATE (TOE-NAILED)	3-8D	PER RAFTER
CEILING JOIST TO TOP PLATE (TOE-NAILED)	3-8D	PER JOIST
CEILING JOIST TO PARALLEL RAFTER (FACE-NAILED)	8-16D	EACH LAP
CEILING JOIST TO LAPS OVER PARTITIONS (FACE-NAILED)	8-16D	EACH LAP
COLLAR TIE TO RAFTER (FACE-NAILED)	3-16D	PER TIE END
BLOCKING TO RAFTER (TOE-NAILED)	2-8D	EACH END
RIM BOARD TO RAFTER (END-NAILED)	2-16D	EACH END
WALL FRAMING		
TOP PLATE TO TOP PLATE (FACE NAILED)	2-16D	PER FOOT
TOP PLATED AT INTERSECTIONS (FACE-NAILED)	4-16D	JOINTS EACH SIDE
STUD TO STUD (FACE-NAILED)	2-16D	24" O.C.
HEADER TO HEADER (FACE-NAILED)	16D	16" O.C. ALONG EDGES
TOP OR BOTTOM PLATE TO FLOOR JOIST, BANDJOIST, ENDJOIST, OR BLOCKING (FACE-NAILED)	2-16D	PER STUD
	2-16D	PER FOOT
FLOOR FRAMING		
JOIST TO SILL, TOP PLATE OF GIRDER (TOE-NAILED)	4-8D	PER JOIST
BRIDGING TO JOIST (TOE-NAILED)	2-8D	EACH END
BLOCKING TO JOIST (TOE-NAILED)	2-8D	EACH END
LEADER STRIP TO BEAM (FACE-NAILED)	3-16D	EACH BLOCK
JOIST ON LEADER TO BEAM (TOE-NAILED)	3-8D	PER JOIST
BAND JOIST TO JOIST (END-NAILED)	3-16D	PER JOIST
BAND JOIST TO SILL OF TOP PLATE (TOE-NAILED)	2-16D	PER FOOT
ROOF SHEATHING		
STRUCTURAL PANELS	8-D	6" EDGE/12" FIELD
DIAGONAL BOARD SHEATHING	2-8D	PER SUPPORT
1"X6" OR 1"X8" OR 1"X10" OR WIDER	3-8D	PER SUPPORT
CEILING SHEATHING		
GYPSUM WALLBOARD	#8 X 1-5/8 SCREW	7" EDGE/ 10" FIELD
WALL SHEATHING		
STRUCTURAL PANELS	8D	6" EDGE / 12" FIELD
FIBERBOARD PANELS	6D	3" EDGE / 6" FIELD
7/16"	8D	3" EDGE / 6" FIELD
25/32"	#6 X 1-5/8 SCREW	7" EDGE / 10" FIELD
GYPSUM WALLBOARD	8D	6" EDGE / 12" FIELD
HARDBOARD	8D	6" EDGE / 12" FIELD
FLOOR SHEATHING		
STRUCTURAL PANELS	8-D	7" EDGE/ 10" FIELD
1"OR LESS	10D	7" EDGE/ 6" FIELD
GREATER THAN 1"		
DIAGONAL BOARD SHEATHING	2-8D	PER SUPPORT
1"X6" OR 1"X8" OR 1"X10" OR WIDER	2-8D	PER SUPPORT

SYMBOL	DESCRIPTION
	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE DEMOLISHED
	PROPOSED WALLS (SEE NOTES FOR DETAILS) INSTALL 2X4S @ 16" O.C. WITH 1/2" THICK GYPSUM BOARD INTERIOR FINISH BOTH SIDES. INSTALL ACOUSTIC INSULATION. INSTALL 1/2" THK. M.R. GYPSUM BOARD IN HUMID AREAS. INSTALL 2X4 BOTTOM PLATE + (2)2X4 TOP PLATE AS PER CODE.
	PROPOSED FOUNDATION WALLS (SEE NOTES FOR DETAILS)

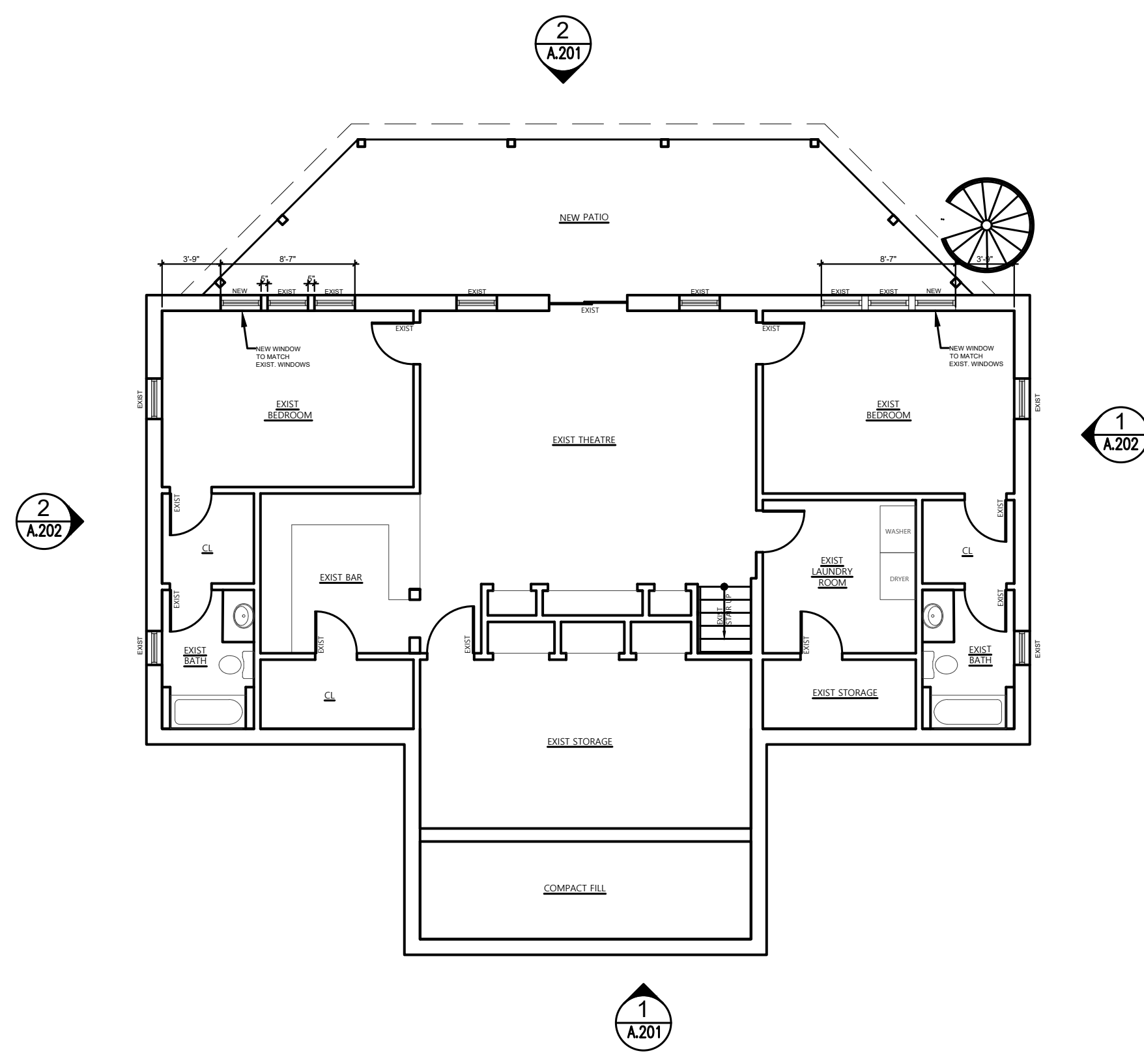
SYMBOL	DESCRIPTION
	ALL WORK SHALL CONFORM TO ALL STATE AND APPLICABLE CODES.
	VERIFY EXACT LOCATIONS OF ALL OUTLETS, SWITCHES, ETC. DURING ROUGH FRAMING.
	EXISTING ELECTRICAL PANEL (200 AMP SERVICE) TO ACCOMMODATE NEW ADDITION.
	ALL LIGHTING FIXTURES SHALL BE AS SPECIFIED UNLESS OTHERWISE NOTED, CONTRACTOR SHALL PROVIDE AND INSTALL FIXTURES.
	FIXTURES SUPPLIED BY THE OWNER SHALL BE INSTALLED BY THE CONTRACTOR.
	ELECTRICAL SWITCHES AND OUTLETS SHALL BE "DECORA" STYLE WITH ROCKER SWITCHES AND SLIDE SWITCHER SWITCHES WITH ON/OFF SWITCH.
	PROVIDE FOR CABLE T.V. JACKS AND TELEPHONE JACKS.
	PROVIDE COMBINATION CARBON MONOXIDE/SMOKE DETECTORS WITH BATTERY BACK-UP, INTERCONNECTED (UPGRADE EXISTING AS REQUIRED), ONE ON EACH LEVEL AND SMOKE DETECTORS IN EACH BEDROOM.

SYMBOL	DESCRIPTION
	GENERAL NOTES: EXTERIOR WALLS: 2"X4" DOUGLAS FIR @16" O.C., R15 BATT INSULATION 1/2" CDX PLYWOOD SHEATHING, 1/2" R3 RIGID CONTINUOUS INSULATION (FORMULAR XPS BY CORNING OR EQUAL), TYVEK OR EQUAL WRAP, HARDIE PLANK SIDING AND TRIM. LIGHTWEIGHT VENEER STONE ACCENTS. INTERIOR WALLS TO RECEIVE 1/2" F.C. GYP. BD., SPACKLE AND TAPE. ROOFING: 2"X10" @16" O.C., 3/8" CDX PLYWOOD SHEATHING, R48 SPRAY FOAM INSULATION, "SNOW AND ICE" SHIELD ALONG BOTTOM 24" OF ROOF, FLASHING ALONG ALL VALLEYS AND WALL EDGES. PERFORATED SOFFITS AND CONTINUOUS RIGID VENTS, GUTTERS AND DOWNSPOUTS, 15 POUND ROOFING FELTS, "TIMBERLINE" ASPHALT SHINGLES BY GAF.

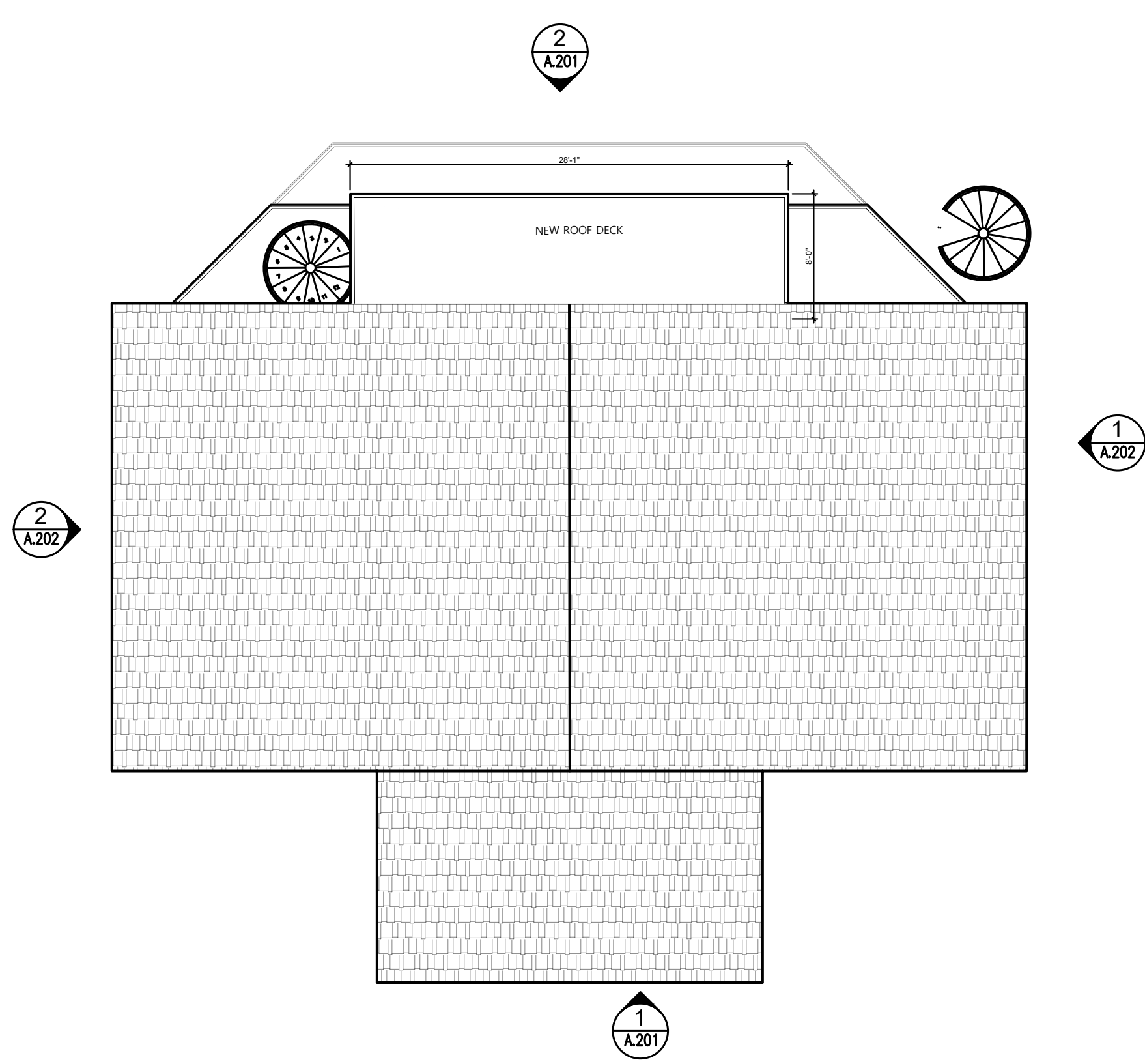
SYMBOL	DESCRIPTION
	CONSTRUCTION NOTES: 1. INSTALL NEW CONCRETE FOOTING TO BE 12" H x 24" W @ 36" BELOW GRADE MINIMUM. FOOTINGS TO BEAR ON UNDISTURBED SOIL. INSTALL (3) #5 REINFORCING BARS AT BOTTOM OF FOOTING GROUND TO THE ELECTRIC PANEL AS PER CODE. 1A. INSTALL NEW CONCRETE FOOTING TO BE 12" H x 24" W @ 36" BELOW GRADE MINIMUM. FOOTINGS TO BEAR ON UNDISTURBED SOIL. INSTALL (3) #5 REINFORCING BARS AT BOTTOM OF FOOTING GROUND TO THE ELECTRIC PANEL AS PER CODE. 2. INSTALL 8" ON 12" THK C.M.U. WALL ON TOP OF CONCRETE FOOTING 12" H x 24" W W/ (3) #5 REBARS @ BOTTOM OF FOOTING. INSTALL CEMENT DAMPPROOFING ON EXTERIOR FACE. INSTALL HORIZONTAL TRUSS TYPE REINFORCEMENT @ EVERY OTHER COURSE. INSTALL 1/2" DIA ANCHOR BOLTS W/ 12" EMBEDMENT. ANCHORS TO BE 12" MAX. FROM CORNERS AS PER CODE. INSTALL BRICK VENEER SELECTED BY OWNER AS STAIR TREADS/RISERS (SEE CONSTRUCTION NOTE #3 FOR DETAILS). 2A. INSTALL 8" THK C.M.U. WALL ON TOP OF CONCRETE FOOTING 12" H x 24" W W/ (3) #5 REBARS @ BOTTOM OF FOOTING. INSTALL CEMENT DAMPPROOFING ON EXTERIOR FACE. INSTALL "SIMPSON" #MASA MUDDILL ANCHORS (OR EQUAL) 22" LONG @ 48" O.C. IN CONCRETE FILLED CAVITIES @ 12" O.C. FROM CORNERS. INSTALL TERMITES SHIELD & DRAFTSTOPPING @ TOP OF BLOCK WALL W/ 2X6 SILL. SILL PLATE. INSTALL STEEL HORIZONTAL TRUSS TYPE REINFORCEMENT @ EVERY OTHER COURSE. TIE NEW FOUNDATION TO EXISTING W/ #4 REINFORCING BARS 12" LONG EPOXIED INTO PLACE. INSTALL #5 VERTICAL REBAR @ 24" O.C. IN CONCRETE FILLED CAVITIES. 3. INSTALL MASONRY STEPS W/ BULLETS FINISH AS PER AGREEMENT ON 4" THK CONCRETE SLAB W/ 6 x 6 x 10/10 W.W.M. @ LANDING. PERIMETER OF LANDING TO BE BRICK TO MATCH TREADS AND RISERS. TREADS TO BE 12" WIDE WITH BRICK VENEER FINISH. RISERS TO BE 8" HIGH (V.I.F.) WITH VERTICAL SURFACE BRICK VENEER. INSTALL 3/8" - 1/2" THK BITUMINOUS JOINT FILLER @ INTERSECTIONS W/ FOUNDATION WALLS. PITCH SLAB 1/4" PER 12" TO DRAIN. SEE CONSTRUCTION NOTE #3 FOR FOOTING/FOUNDATION DETAILS. 3A. INSTALL MIN. 4" THK CONCRETE SLAB W/ 6 x 6 x 10/10 W.W.M. OVER 6 MIL CONTINUOUS VAPOR BARRIER AS PER CODE ON 4" THK CRUSHED STONE. INSTALL 3/8" - 1/2" THK BITUMINOUS JOINT FILLER @ INTERSECTION W/ FOUNDATIONS. INSTALL FLOATING VINYL FLOOR OVER SLAB IN FINISHED BASEMENT. 4. INSTALL 36" H METAL RAILING W/ 4" WIDE MAXIMUM SPACING BETWEEN BALUSTERS & BELOW BOTTOM RAIL. MAXIMUM SPACING UNDER BOTTOM RAIL @ STEPS TO BE 6" DIA SPHERE MAXIMUM AS PER CODE. NEVEL POSTS METAL SELECTED BY OWNER. INSTALL HANDRAIL AS PER CODE @ 34" ABOVE EDGE OF TREAD. 5. INSTALL VINYL SOFFIT AS PER AGREEMENT ON ALL OVERHANGS. 5A. INSTALL VENTED "AZEK" BEADBOARD SOFFIT AS PER AGREEMENT @ PORTICO CEILING. PROVIDE EXPANSION JOINTS AS NECESSARY. 6. INSTALL SEAMLESS ALUMINUM GUTTERS & LEADERS AS PER AGREEMENT. 7. INSTALL NEW DIMENSIONAL ASPHALT ROOFING(LIFETIME WARRANTY) AS PER AGREEMENT ON 30# BUILDING PAPER OVER 5/8"THK 5-PLY "CDX" PLYWOOD ROOF SHEATHING ON RAFTERS @ 16" O.C. (SEE FRAMING PLAN FOR SIZES). INSTALL CONTINUOUS COPPER FLASHING @ INTERSECTION OF ROOF TO WALL. ALL ROOF VALLEYS TO BE COVERED WITH A 36" WIDE RUBBER MEMBRANE FLASHING SELECTED BY ROOFING CONTRACTOR. INSTALL GAF WEATHER WATCH @ 24 INSIDE INTERIOR WALL AS REQUIRED BY CODE. INSTALL WEATHER SHIELD AT ENTIRE ROOF AREA @ PITCHES 4:12 OR LESS. INSTALL SCREENED RIDGE & SOFFIT VENTS W/ 1 SQ. FT. PER 150 SQ.FT. ATTIC AREA AS PER CODE. INSTALL RAKE & DRIP EDGE FLASHING. 7A. INSTALL NEW COPPER STANDING SEAM ROOFING OVER #30 BUILDING PAPER ON 5/8"THK 5-PLY "CDX" PLYWOOD ROOF SHEATHING UNDER ROOF RAFTERS (SEE ROOF FRAMING FOR SIZES) @ 16" O.C. INSTALL CONTINUOUS METAL FLASHING @ INTERSECTION OF ROOF TO WALL.

SYMBOL	DESCRIPTION
	ELECTRICAL NOTES: ALL WORK SHALL CONFORM TO ALL STATE AND APPLICABLE CODES. VERIFY EXACT LOCATIONS OF ALL OUTLETS, SWITCHES, ETC. DURING ROUGH FRAMING. EXISTING ELECTRICAL PANEL (200 AMP SERVICE) TO ACCOMMODATE NEW ADDITION. ALL LIGHTING FIXTURES SHALL BE AS SPECIFIED UNLESS OTHERWISE NOTED, CONTRACTOR SHALL PROVIDE AND INSTALL FIXTURES. FIXTURES SUPPLIED BY THE OWNER SHALL BE INSTALLED BY THE CONTRACTOR. ELECTRICAL SWITCHES AND OUTLETS SHALL BE "DECORA" STYLE WITH ROCKER SWITCHES AND SLIDE SWITCHER SWITCHES WITH ON/OFF SWITCH. PROVIDE FOR CABLE T.V. JACKS AND TELEPHONE JACKS. PROVIDE COMBINATION CARBON MONOXIDE/SMOKE DETECTORS WITH BATTERY BACK-UP, INTERCONNECTED (UPGRADE EXISTING AS REQUIRED), ONE ON EACH LEVEL AND SMOKE DETECTORS IN EACH BEDROOM.

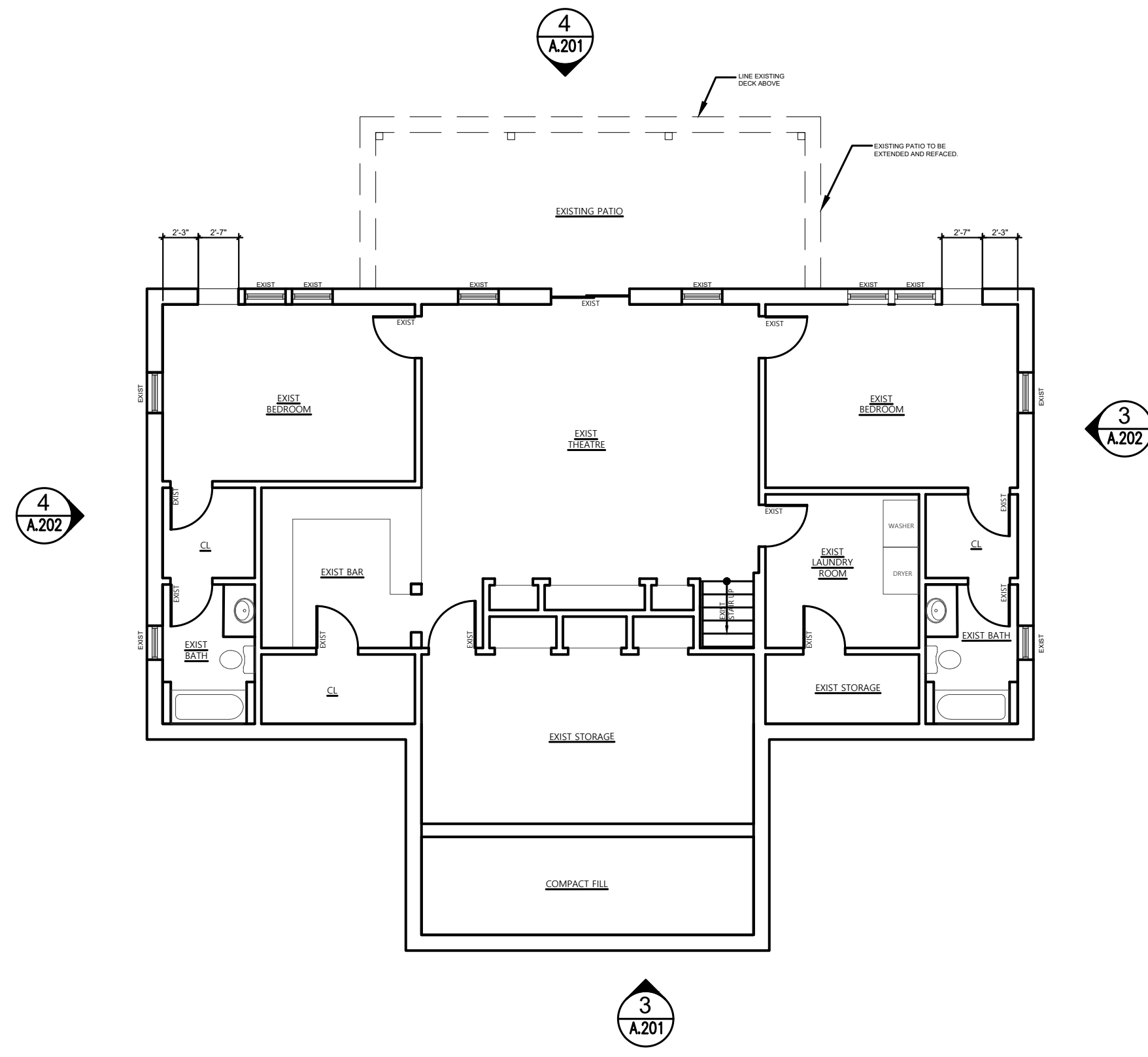
SYMBOL	DESCRIPTION
	GENERAL NOTES: EXTERIOR WALLS: 2"X4" DOUGLAS FIR @16" O.C., R15 BATT INSULATION 1/2" CDX PLYWOOD SHEATHING, 1/2" R3 RIGID CONTINUOUS INSULATION (FORMULAR XPS BY CORNING OR EQUAL), TYVEK OR EQUAL WRAP, HARDIE PLANK SIDING AND TRIM. LIGHTWEIGHT VENEER STONE ACCENTS. INTERIOR WALLS TO RECEIVE 1/2" F.C. GYP. BD., SPACKLE AND TAPE. ROOFING: 2"X10" @16" O.C., 3/8" CDX PLYWOOD SHEATHING, R48 SPRAY FOAM INSULATION, "SNOW AND ICE" SHIELD ALONG BOTTOM 24" OF ROOF, FLASHING ALONG ALL VALLEYS AND WALL EDGES. PERFORATED SOFFITS AND CONTINUOUS RIGID VENTS, GUTTERS AND DOWNSPOUTS, 15 POUND ROOFING FELTS, "TIMBERLINE" ASPHALT SHINGLES BY GAF.



1 PROPOSED BASEMENT PLAN
A.102 SCALE: 1/8"=1'-0"



2 PROPOSED ROOF PLAN
A.102 SCALE: 1/8"=1'-0"



3 EXISTING BASEMENT PLAN
A.102 SCALE: 1/8"=1'-0"

CONSTRUCTION NOTES

- 1. INSTALL NEW CONCRETE FOOTING TO BE 12" H x 24" W @ 36" BELOW GRADE MINIMUM. FOOTINGS TO BEAR ON UNDISTURBED SOIL. INSTALL (3) #5 REINFORCING BARS AT BOTTOM OF FOOTING GROUND TO THE ELECTRIC PANEL AS PER CODE.
- 1A. INSTALL NEW CONCRETE FOOTING TO BE 12" H x 24" W @ 36" BELOW GRADE MINIMUM. FOOTINGS TO BEAR ON UNDISTURBED SOIL. INSTALL (3) #5 REINFORCING BARS AT BOTTOM OF FOOTING GROUND TO THE ELECTRIC PANEL AS PER CODE.
- 2. INSTALL 8" ON 12" THK C.M.U. WALL ON TOP OF CONCRETE FOOTING 12" H x 24" W W/ (3) #5 REBARS @ BOTTOM OF FOOTING. INSTALL CEMENT DAMPPROOFING ON EXTERIOR FACE. INSTALL HORIZONTAL TRUSS TYPE REINFORCEMENT @ EVERY OTHER COURSE. INSTALL 1/2" DIA ANCHOR BOLTS W/ 12" EMBEDMENT. ANCHORS TO BE 12" MAX. FROM CORNERS AS PER CODE. INSTALL BRICK VENEER SELECTED BY OWNER AS STAIR TREADS/RISERS (SEE CONSTRUCTION NOTE #3 FOR DETAILS).
- 2A. INSTALL 8" THK C.M.U. WALL ON TOP OF CONCRETE FOOTING 12" H x 24" W W/ (3) #5 REBARS @ BOTTOM OF FOOTING. INSTALL CEMENT DAMPPROOFING ON EXTERIOR FACE. INSTALL "SIMPSON" #MASA MUDDILL ANCHORS (OR EQUAL) 22" LONG @ 48" O.C. IN CONCRETE FILLED CAVITIES @ 12" O.C. FROM CORNERS. INSTALL TERMITES SHIELD & DRAFTSTOPPING @ TOP OF BLOCK WALL W/ 2X6 SILL. SILL PLATE. INSTALL STEEL HORIZONTAL TRUSS TYPE REINFORCEMENT @ EVERY OTHER COURSE. TIE NEW FOUNDATION TO EXISTING W/ #4 REINFORCING BARS 12" LONG EPOXIED INTO PLACE. INSTALL #5 VERTICAL REBAR @ 24" O.C. IN CONCRETE FILLED CAVITIES.
- 3. INSTALL MASONRY STEPS W/ BULLETS FINISH AS PER AGREEMENT ON 4" THK CONCRETE SLAB W/ 6 x 6 x 10/10 W.W.M. @ LANDING. PERIMETER OF LANDING TO BE BRICK TO MATCH TREADS AND RISERS. TREADS TO BE 12" WIDE WITH BRICK VENEER FINISH. RISERS TO BE 8" HIGH (V.I.F.) WITH VERTICAL SURFACE BRICK VENEER. INSTALL 3/8" - 1/2" THK BITUMINOUS JOINT FILLER @ INTERSECTIONS W/ FOUNDATION WALLS. PITCH SLAB 1/4" PER 12" TO DRAIN. SEE CONSTRUCTION NOTE #3 FOR FOOTING/FOUNDATION DETAILS.
- 3A. INSTALL MIN. 4" THK CONCRETE SLAB W/ 6 x 6 x 10/10 W.W.M. OVER 6 MIL CONTINUOUS VAPOR BARRIER AS PER CODE ON 4" THK CRUSHED STONE. INSTALL 3/8" - 1/2" THK BITUMINOUS JOINT FILLER @ INTERSECTION W/ FOUNDATIONS. INSTALL FLOATING VINYL FLOOR OVER SLAB IN FINISHED BASEMENT.
- 4. INSTALL 36" H METAL RAILING W/ 4" WIDE MAXIMUM SPACING BETWEEN BALUSTERS & BELOW BOTTOM RAIL. MAXIMUM SPACING UNDER BOTTOM RAIL @ STEPS TO BE 6" DIA SPHERE MAXIMUM AS PER CODE. NEVEL POSTS METAL SELECTED BY OWNER. INSTALL HANDRAIL AS PER CODE @ 34" ABOVE EDGE OF TREAD.
- 5. INSTALL VINYL SOFFIT AS PER AGREEMENT ON ALL OVERHANGS.
- 5A. INSTALL VENTED "AZEK" BEADBOARD SOFFIT AS PER AGREEMENT @ PORTICO CEILING. PROVIDE EXPANSION JOINTS AS NECESSARY.
- 6. INSTALL SEAMLESS ALUMINUM GUTTERS & LEADERS AS PER AGREEMENT.
- 7. INSTALL NEW DIMENSIONAL ASPHALT ROOFING(LIFETIME WARRANTY) AS PER AGREEMENT ON 30# BUILDING PAPER OVER 5/8"THK 5-PLY "CDX" PLYWOOD ROOF SHEATHING ON RAFTERS @ 16" O.C. (SEE FRAMING PLAN FOR SIZES). INSTALL CONTINUOUS COPPER FLASHING @ INTERSECTION OF ROOF TO WALL. ALL ROOF VALLEYS TO BE COVERED WITH A 36" WIDE RUBBER MEMBRANE FLASHING SELECTED BY ROOFING CONTRACTOR. INSTALL GAF WEATHER WATCH @ 24 INSIDE INTERIOR WALL AS REQUIRED BY CODE. INSTALL WEATHER SHIELD AT ENTIRE ROOF AREA @ PITCHES 4:12 OR LESS. INSTALL SCREENED RIDGE & SOFFIT VENTS W/ 1 SQ. FT. PER 150 SQ.FT. ATTIC AREA AS PER CODE. INSTALL RAKE & DRIP EDGE FLASHING.
- 7A. INSTALL NEW COPPER STANDING SEAM ROOFING OVER #30 BUILDING PAPER ON 5/8"THK 5-PLY "CDX" PLYWOOD ROOF SHEATHING UNDER ROOF RAFTERS (SEE ROOF FRAMING FOR SIZES) @ 16" O.C. INSTALL CONTINUOUS METAL FLASHING @ INTERSECTION OF ROOF TO WALL.

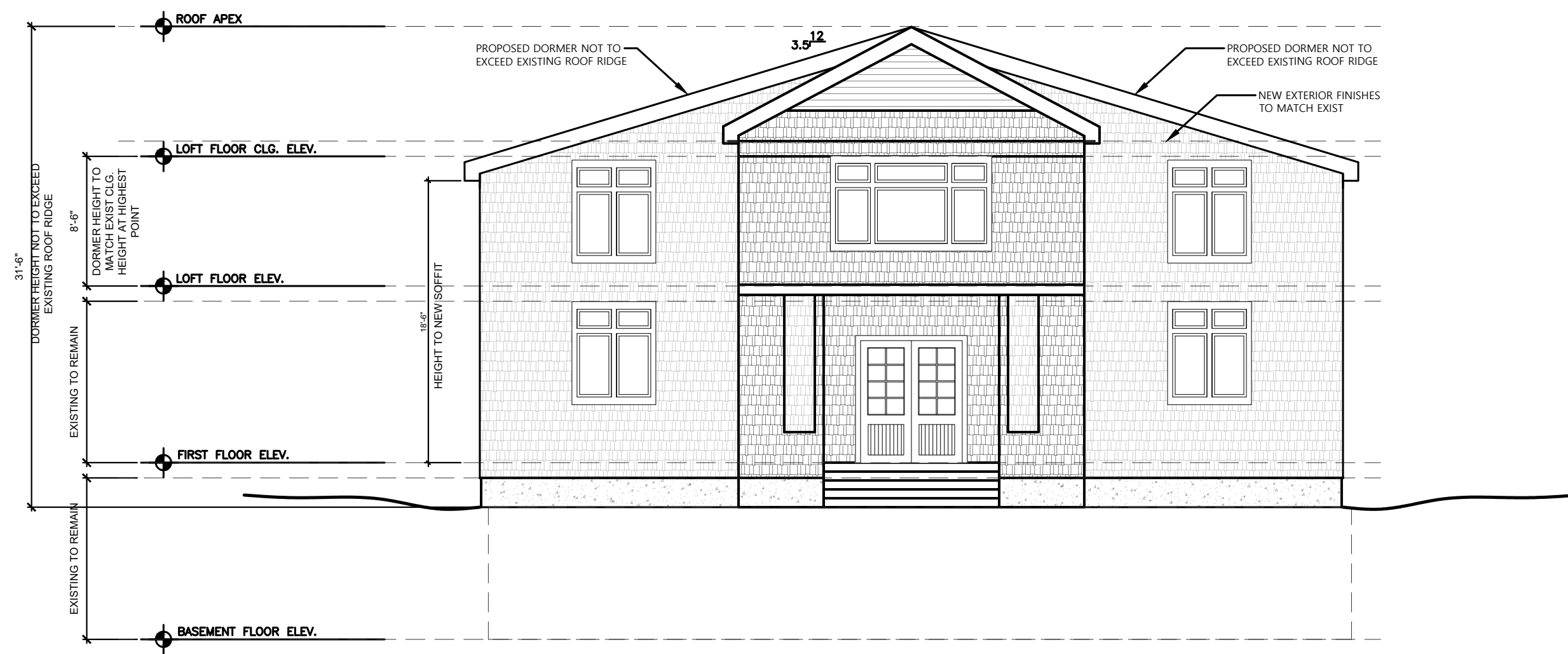
WINDOW SCHEDULE

WINDOWS TO BE "ANDERSEN" TILT-WASH 400 SERIES WINDOWS (UNLESS OTHERWISE NOTED).
WINDOWS TO HAVE INSULATED LOW "E" GLAZING.
5/8" THK SDL GRILLES (GRILLE PATTERN AS SHOWN ON ELEVATIONS). DRIP FLASHING, INSECT SCREENS (NOT @ FIXED WINDOWS), HARDWARE & TRIM AS PER AGREEMENT. INSTALL AS PER MANU. SPECS. & RECOMM. INSTALL (2)2X8 HEADER UNLESS OTHERWISE NOTED IN FRAMING PLANS EXISTING HEADERS TO REMAIN AT REPLACEMENT WINDOWS. INSTALL JAMB EXTENSIONS AT 2X6 STUD WALLS. SEE ELEVATIONS FOR HINGE LOCATION ON CASEMENT WINDOWS. VERIFY SIZE AND TYPE OF ALL WINDOWS TO BE REPLACED PRIOR TO ORDERING. INSTALL AS PER MANUF. SPECS. & RECOMMENDS.

	#C15 2'-0 5/8"W X 5'-0 3/8"H CASEMENT WINDOW
	#CXW15 3'-0 1/2"W X 5'-0 3/8"H CASEMENT WINDOW
	#TW30410 3'-2 1/8"W X 5'-0 7/8"H D.H. WINDOW
	#CTN28 2'-10 1/8"W X 1'-7 3/4"H CIRCLE-TOP SPECIALTY WINDOW
	#C145 2'-0 5/8"W X 4'-5 3/8"H CASEMENT WINDOW
	#CXW145 3'-0 1/2"W X 4'-5 3/8"H CASEMENT WINDOW
	#TW3046 3'-2 1/8"W X 4'-8 7/8"H D.H. WINDOW. SILL HT. TO BE +24" A.F.F. MAX
	#TW21032 3'-0 1/8"W X 3'-4 7/8"H D.H. WINDOW
	#AW251 2'-4 5/8"W X 2'-4 5/8"H AWNING WINDOW.
	#CIR24 2'-4 7/8" DIA CIRCLE SPECIALTY WINDOW.

INTERIOR RENOVATIONS + DORMER
ADDITION + DECK ADDITION:
TORRES RESIDENCE

148 BAYSIDE DRIVE
ATLANTIC HIGHLANDS, NJ 07716



1 PROPOSED FRONT ELEVATION
A.201 SCALE: 1/8"=1'-0"



2 PROPOSED REAR ELEVATION
A.201 SCALE: 1/8"=1'-0"



3 EXISTING FRONT ELEVATION
A.201 SCALE: 1/8"=1'-0"



4 EXISTING REAR ELEVATION
A.201 SCALE: 1/8"=1'-0"

CONSTRUCTION NOTES	
3	INSTALL MASONRY STEPS W/ BLUESTONE FINISH AS PER AGREEMENT ON 4" THK CONCRETE SLAB W/ 6 x 6 x 10/10 W.W.M. @ LANDING. PERIMETER OF LANDING TO BE BRICK TO MATCH TREADS AND RISERS. TREADS TO BE 12" WIDE WITH BRICK VENEER FINISH. RISERS TO BE ±8" HIGH (V.I.F.) WITH VERTICAL SURFACE BRICK VENEER. INSTALL 3/8"-1/2" THICK BITUMINOUS JOINT FILLER @ INTERSECTIONS W/ FOUNDATION WALLS. PITCH SLAB 1/4" PER 12" TO DRAIN. SEE CONSTRUCTION NOTE #3 FOR FOOTING/FOUNDATION DETAILS.
3A	INSTALL MIN. 4" THK CONCRETE SLAB W/ 6 x 6 x 10/10 W.W.M. OVER 6 MIL CONTINUOUS VAPOR BARRIER AS PER CODE ON 4" THK CRUSHED STONE. INSTALL 3/8 - 1/2" THK. BITUMINOUS JOINT FILLER @ INTERSECTION W/ FOUNDATIONS. INSTALL FLOATING VINYL FLOOR OVER SLAB IN FINISHED BASEMENT.

4	INSTALL 36"H METAL RAILING W/ 4" WIDE MAXIMUM SPACING BETWEEN BALUSTERS & BELOW BOTTOM RAIL. MAXIMUM SPACING UNDER BOTTOM RAIL @ STEPS TO BE 6" DIA SPHERE MAXIMUM AS PER CODE. NEWEL POSTS METAL SELECTED BY OWNER. INSTALL HANDRAIL AS PER CODE @ 34" ABOVE EDGE OF TREAD.
5	INSTALL VINYL SOFFIT AS PER AGREEMENT ON ALL OVERHANGS.
5A	INSTALL VENTED 'AZEK' BEADBOARD SOFFIT AS PER AGREEMENT @ PORTICO CEILING. PROVIDE EXPANSION JOINTS AS NECESSARY.
6	INSTALL SEAMLESS ALUMINUM GUTTERS & LEADERS AS PER AGREEMENT. LEADERS TO DRAIN IN LOCATIONS SELECTED BY OWNER.

7	INSTALL NEW DIMENSIONAL ASPHALT ROOFING(LIFETIME WARRANTY) AS PER AGREEMENT ON 30# BUILDING PAPER OVER 5/8"THK 5-PLY 'CDX' PLYWOOD ROOF SHEATHING ON RAFTERS @ 16" o.c. (SEE FRAMING PLAN FOR SIZES). INSTALL CONTINUOUS COPPER FLASHING @ INTERSECTION OF ROOF TO WALL. ALL ROOF VALLEYS TO BE COVERED WITH A 36" WIDE RUBBER MEMBRANE FLASHING SELECTED BY ROOFING CONTRACTOR. INSTALL GAP WEATHER WATCH @ 24 INSIDE INTERIOR WALL AS REQUIRED BY CODE. INSTALL WEATHER SHIELD AT ENTIRE ROOF AREA @ PITCHES 4:12 OR LESS. INSTALL SCREENED RIDGE & SOFFIT VENTS W/ 1 SQ. FT. PER 150 SQ.FT. ATTIC AREA AS PER CODE. INSTALL RAKE & DRIP EDGE FLASHING.
7A	INSTALL NEW COPPER STANDING SEAM ROOFING OVER #30 BUILDING PAPER ON 5/8"THK 5-PLY 'CDX' PLYWOOD ROOF SHEATHING ON ROOF RAFTERS (SEE ROOF FRAMING FOR SIZES) @ 16" o.c. INSTALL CONTINUOUS METAL FLASHING @ INTERSECTION OF ROOF TO WALL.

8	INSTALL 10"x10"x8"-0"H SQUARE FIBERGLASS 'OUTWATER' COLUMN UNIT# MC-1085Q AS PER AGREEMENT W/ POLYURETHANE CAP & BASE. 1-800-835-4400 www.outwater.com. INSTALL AS PER MANU. SPECS. & RECOMM. ALL COLUMNS TO HAVE AN ENGINEERED POST 4"x4" INSIDE.
9	EXTERIOR WALL TO BE 2x6s @ 16" o.c. WITH 1/2 THICK GYPSUM BOARD INTERIOR FINISH & 1/2" THK CDX PLYWOOD SHEATHING W/ VINYL AS PER AGREEMENT OVER TYVEK HOUSE WRAP VAPOR BARRIER (OR EQUAL) ON EXTERIOR. INSTALL R-20 FIBERGLASS BATT INSULATION W/ VAPOR BARRIER. INSTALL EXTERIOR TRIM AS PER AGREEMENT. INSTALL 1/2" THK M.R. GYP. BD. IN HUMID AREAS.

9A	EXTERIOR WALL TO BE PATCHED W/ 2x4s @ 16" o.c. WITH 1/2 THICK GYPSUM BOARD INTERIOR FINISH & 1/2" THK CDX PLYWOOD SHEATHING. INSTALL VINYL AS PER AGREEMENT OVER TYVEK HOUSE WRAP VAPOR BARRIER (OR EQUAL) ON EXTERIOR OVER EXISTING PLYWOOD SHEATHING (PATCH/REPAIR AS REQUIRED). NEW SIDING TO BE INSTALLED THROUGHOUT. INSTALL R-15 FIBERGLASS BATT INSULATION W/ VAPOR BARRIER WHERE NEW IS REQUIRED. INSTALL EXTERIOR TRIM AS PER AGREEMENT. INSTALL 1/2" THK M.R. GYP. BD. IN HUMID AREAS.
14	INSTALL 30" DIA. DECORATIVE FYPON MODEL #661401 AS PER AGREEMENT. INSTALL AS PER MANU. SPECS. & RECOMM. INSTALL EXTERIOR TRIM SELECTED BY OWNER.
20	INSTALL THERMOSTATICALLY CONTROLLED ATTIC EXHAUST FAN AS PER AGREEMENT. INSTALL AS PER MANU. SPECS. & RECOMM. PROVIDE ELECTRICAL CONNECTION AS REQUIRED.
21	INSTALL SCREENED CRAWL SPACE VENTS IN NEW CRAWL SPACE W/ MINIMUM 1 SQ. FT. FREE VENT AREA PER 150 SQ. FT. CRAWL SPACE AREA.

SUBMISSION:
Zoning 5-23-23

REVISIONS

DATE: 5.23.2023
PROJECT NO.: 22006
DRAWN BY: RA
CHECKED BY: AH + TD

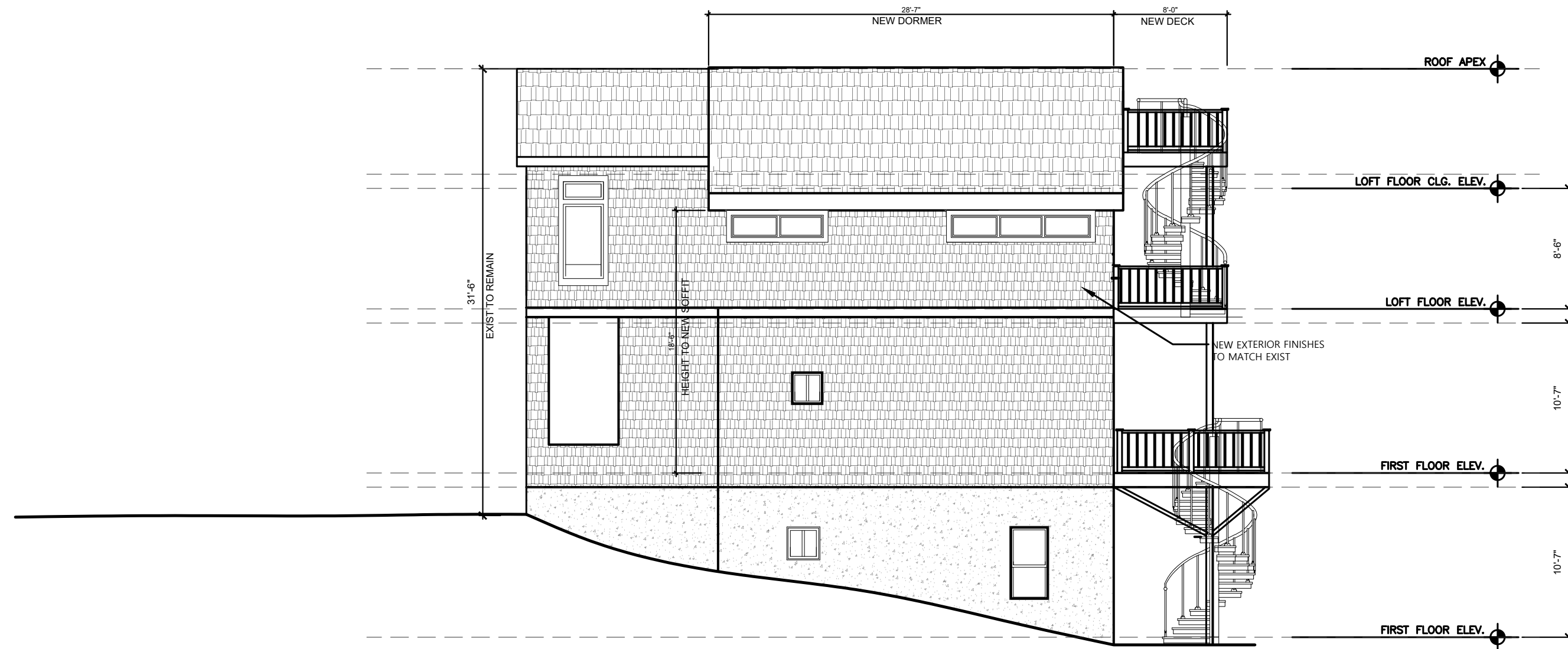
SCALE: AS NOTED

EXISTING AND PROPOSED
ELEVATIONS

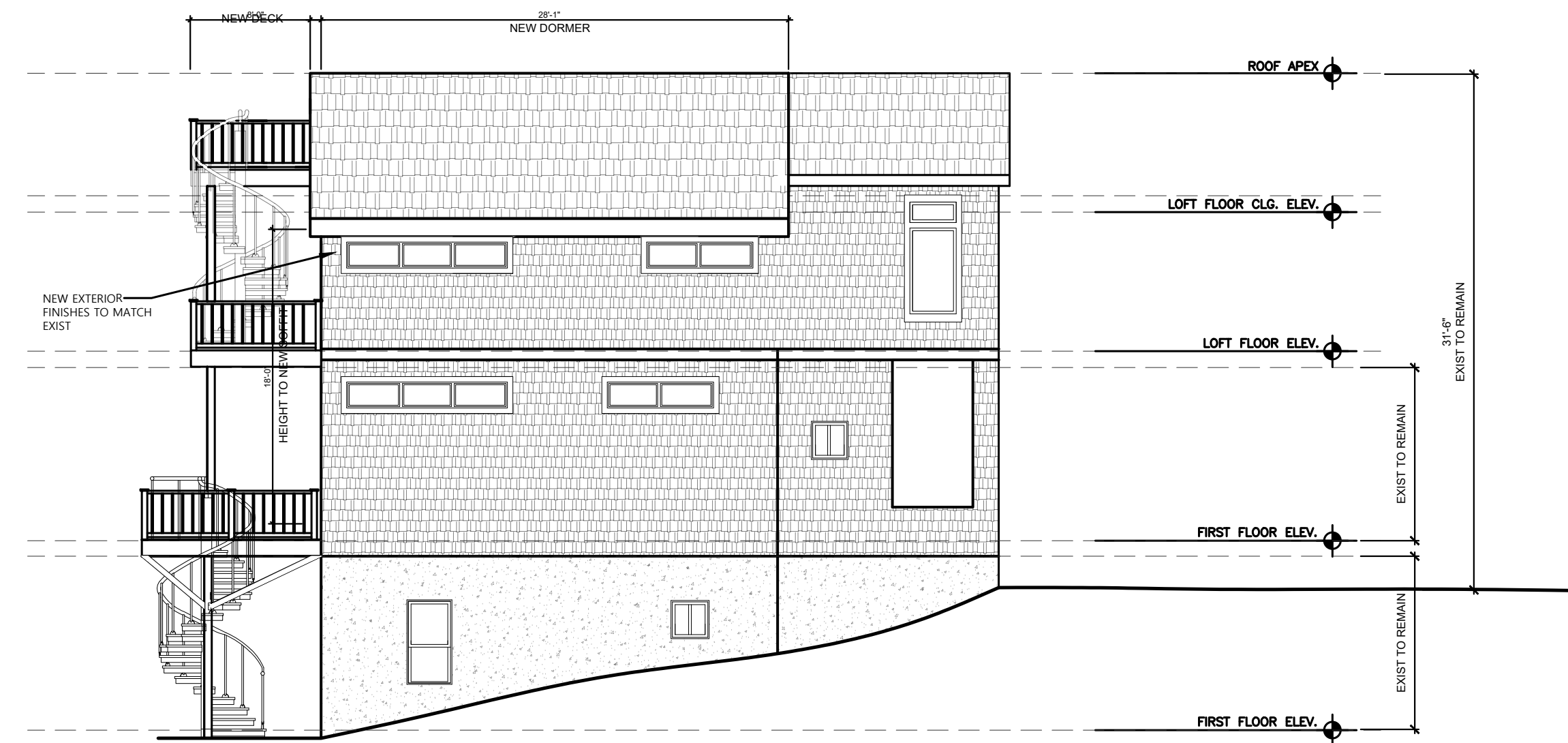
A.201

INTERIOR RENOVATIONS + DORMER
ADDITION + DECK ADDITION:
TORRES RESIDENCE

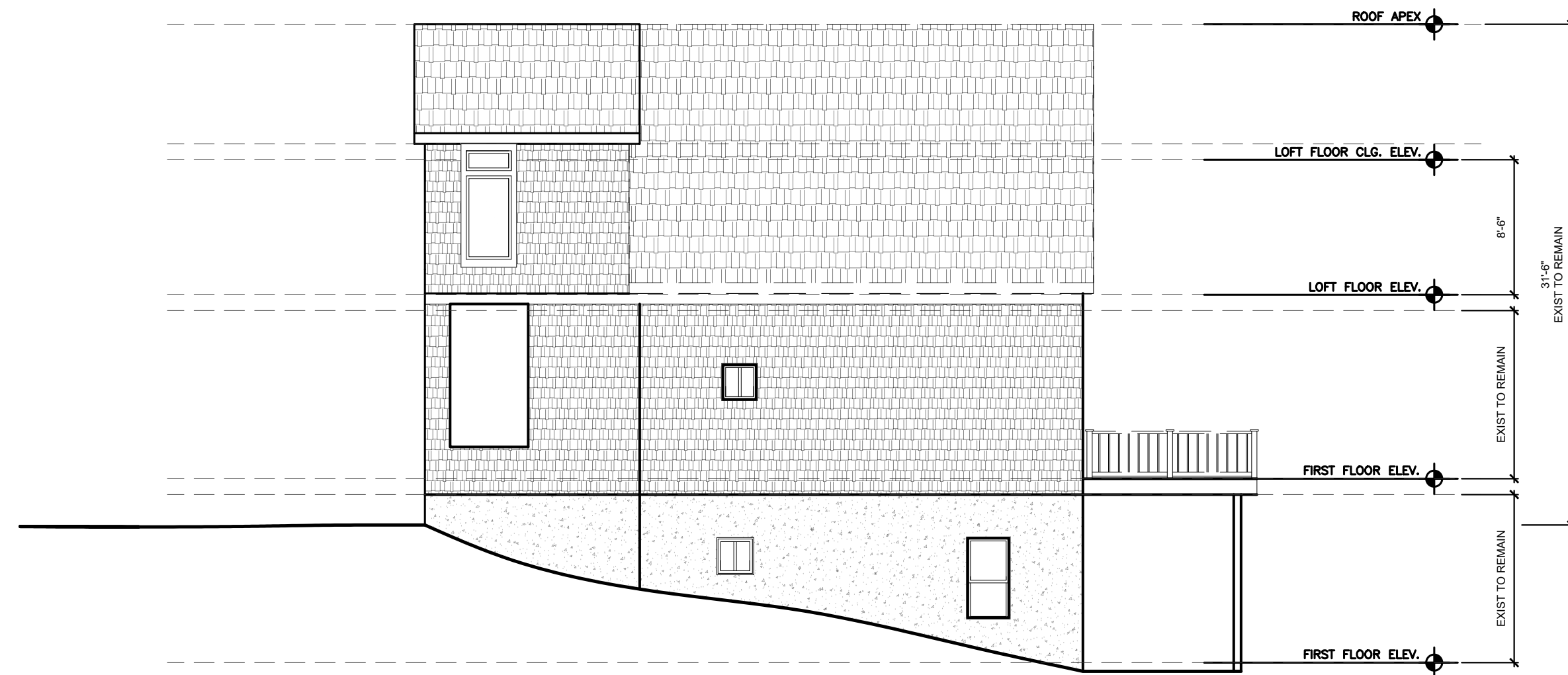
148 BAYSIDE DRIVE
ATLANTIC HIGHLANDS, NJ 07716



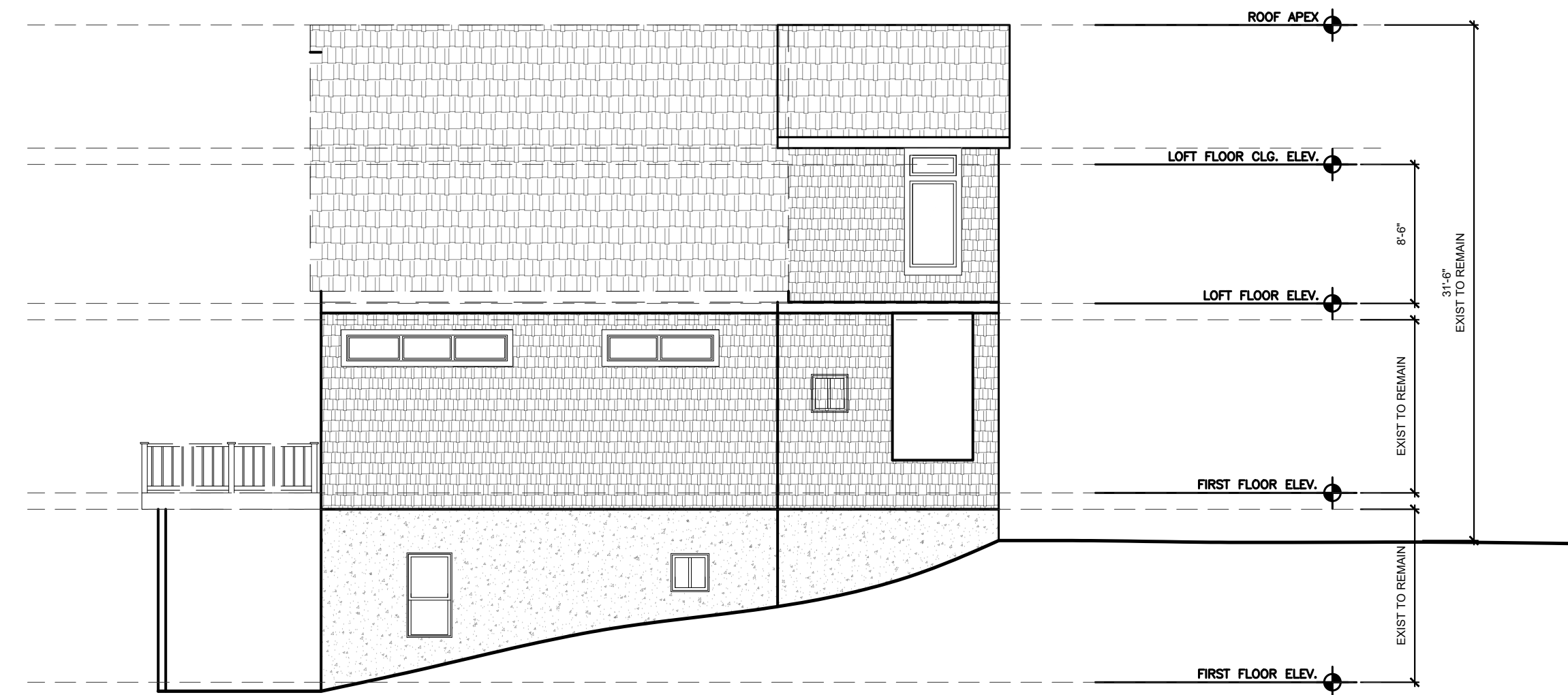
1 PROPOSED RIGHT SIDE ELEVATION
A.202 SCALE: 1/8"=1'-0"



2 PROPOSED LEFT SIDE ELEVATION
A.202 SCALE: 1/8"=1'-0"



3 EXISTING RIGHT SIDE ELEVATION
A.202 SCALE: 1/8"=1'-0"



4 EXISTING LEFT SIDE ELEVATION
A.202 SCALE: 1/8"=1'-0"

CONSTRUCTION NOTES

- 3** INSTALL MASONRY STEPS W/ BLUESTONE FINISH AS PER AGREEMENT ON 4" THK CONCRETE SLAB W/ 6 x 6 x 10/10 W.W.M. @ LANDING. PERIMETER OF LANDING TO BE BRICK TO MATCH TREADS AND RISERS. TREADS TO BE 12" WIDE WITH BRICK VENEER FINISH. RISERS TO BE ±8" HIGH (V.I.F.) WITH VERTICAL SURFACE BRICK VENEER. INSTALL 3/8"-1/2" THICK BITUMINOUS JOINT FILLER @ INTERSECTIONS W/ FOUNDATION WALLS. PITCH SLAB 1/4" PER 12" TO DRAIN. SEE CONSTRUCTION NOTE #3 FOR FOOTING/FOUNDATION DETAILS.
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- 4** INSTALL 36"H METAL RAILING W/ 4" WIDE MAXIMUM SPACING BETWEEN BALUSTERS & BELOW BOTTOM RAIL. MAXIMUM SPACING UNDER BOTTOM RAIL @ STEPS TO BE 6" DIA SPHERE MAXIMUM AS PER CODE. NEVEL POSTS METAL SELECTED BY OWNER. INSTALL HANDRAIL AS PER CODE @ 34" ABOVE EDGE OF TREAD.
- 5** INSTALL VINYL SOFFIT AS PER AGREEMENT ON ALL OVERHANGS.
- 5A** INSTALL VENTED 'AZEK' BEADBOARD SOFFIT AS PER AGREEMENT @ PORTICO CEILING. PROVIDE EXPANSION JOINTS AS NECESSARY.
- 6** INSTALL SEAMLESS ALUMINUM GUTTERS & LEADERS AS PER AGREEMENT. LEADERS TO DRAIN IN LOCATIONS SELECTED BY OWNER.

- 7** INSTALL NEW DIMENSIONAL ASPHALT ROOFING(LIFETIME WARRANTY) AS PER AGREEMENT ON 30# BUILDING PAPER OVER 5/8"THK 5-PLY 'CDX' PLYWOOD ROOF SHEATHING ON RAFTERS @ 16" o.c. (SEE FRAMING PLAN FOR SIZES). INSTALL CONTINUOUS COPPER FLASHING @ INTERSECTION OF ROOF TO WALL. ALL ROOF VALLEYS TO BE COVERED WITH A 36" WIDE RUBBER MEMBRANE FLASHING SELECTED BY ROOFING CONTRACTOR. INSTALL GAF WEATHER WATCH @ 24" INSIDE INTERIOR WALL AS REQUIRED BY CODE. INSTALL WEATHER SHIELD AT ENTIRE ROOF AREA @ PITCHES 4:12 OR LESS. INSTALL SCREENED RIDGE & SOFFIT VENTS W/ 1 SQ. FT. PER 150 SQ.FT. ATTIC AREA AS PER CODE. INSTALL RAKE & DRIP EDGE FLASHING.
- 7A** INSTALL NEW COPPER STANDING SEAM ROOFING OVER #30 BUILDING PAPER ON 5/8"THK 5-PLY 'CDX' PLYWOOD ROOF SHEATHING ON ROOF RAFTERS (SEE ROOF FRAMING FOR SIZES) @ 16"o.c.. INSTALL CONTINUOUS METAL FLASHING @ INTERSECTION OF ROOF TO WALL.

- 8** INSTALL 10"x10"x8'-0"H SQUARE FIBERGLASS 'OUTWATER' COLUMN UNIT# MC-108SQ AS PER AGREEMENT W/ POLYURETHANE CAP & BASE. 1-800-835-4400 www.outwater.com. INSTALL AS PER MANU. SPECS. & RECOMM. ALL COLUMNS TO HAVE AN ENGINEERED POST 4"x4" INSIDE.
- 9** EXTERIOR WALL TO BE 2X6 @ 16" o.c WITH 1/2 THICK GYPSUM BOARD INTERIOR FINISH & 1/2" THK CDX PLYWOOD SHEATHING W/ VINYL AS PER AGREEMENT OVER TYVEK HOUSE WRAP VAPOR BARRIER (OR EQUAL) ON EXTERIOR OVER EXISTING PLYWOOD SHEATHING (PATCH/REPAIR AS REQUIRED). NEW SIDING TO BE INSTALLED THROUGHOUT. INSTALL R-15 FIBERGLASS BATT INSULATION W/ VAPOR BARRIER WHERE NEW IS REQUIRED. INSTALL EXTERIOR TRIM AS PER AGREEMENT. INSTALL 1/2" THK M.R. GYP. BD. IN HUMID AREAS.

- 9A** EXTERIOR WALL TO BE PATCHED W/ 2X4s @ 16" o.c. WITH 1/2 THICK GYPSUM BOARD INTERIOR FINISH & 1/2" THK CDX PLYWOOD SHEATHING. INSTALL VINYL AS PER AGREEMENT OVER TYVEK HOUSE WRAP VAPOR BARRIER (OR EQUAL) ON EXTERIOR OVER EXISTING PLYWOOD SHEATHING (PATCH/REPAIR AS REQUIRED). NEW SIDING TO BE INSTALLED THROUGHOUT. INSTALL R-15 FIBERGLASS BATT INSULATION W/ VAPOR BARRIER WHERE NEW IS REQUIRED. INSTALL EXTERIOR TRIM AS PER AGREEMENT. INSTALL 1/2" THK M.R. GYP. BD. IN HUMID AREAS.
- 14** INSTALL 30" DIA. DECORATIVE FYPON MODEL #661401 AS PER AGREEMENT. INSTALL AS PER MANU. SPECS. & RECOMM. INSTALL EXTERIOR TRIM SELECTED BY OWNER.
- 20** INSTALL THERMOSTATICALLY CONTROLLED ATTIC EXHAUST FAN AS PER AGREEMENT. INSTALL AS PER MANU. SPECS. & RECOMM. PROVIDE ELECTRICAL CONNECTION AS REQUIRED.
- 21** INSTALL SCREENED CRAWL SPACE VENTS IN NEW CRAWL SPACE W/ MINIMUM 1 SQ. FT. FREE VENT AREA PER 150 SQ. FT. CRAWL SPACE AREA.

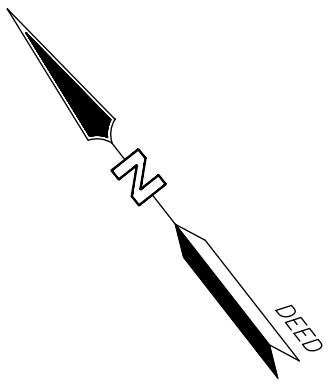
SUBMISSION:
Zoning 5-23-23

REVISIONS

DATE: 5.23.2023
PROJECT NO.: 22006
DRAWN BY: RA
CHECKED BY: AH + TD

SCALE: AS NOTED

EXISTING AND PROPOSED
ELEVATIONS



LOT 1
BOROUGH OF
ATLANTIC HIGHLANDS

S 63°14'38" E 97.90'

CONTOUR LINES BELOW ELEVATION 50
TAKEN FROM COUNTY GIS MAPPING

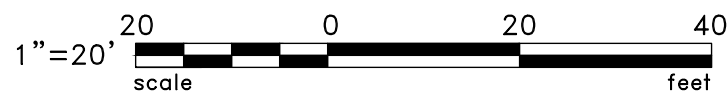
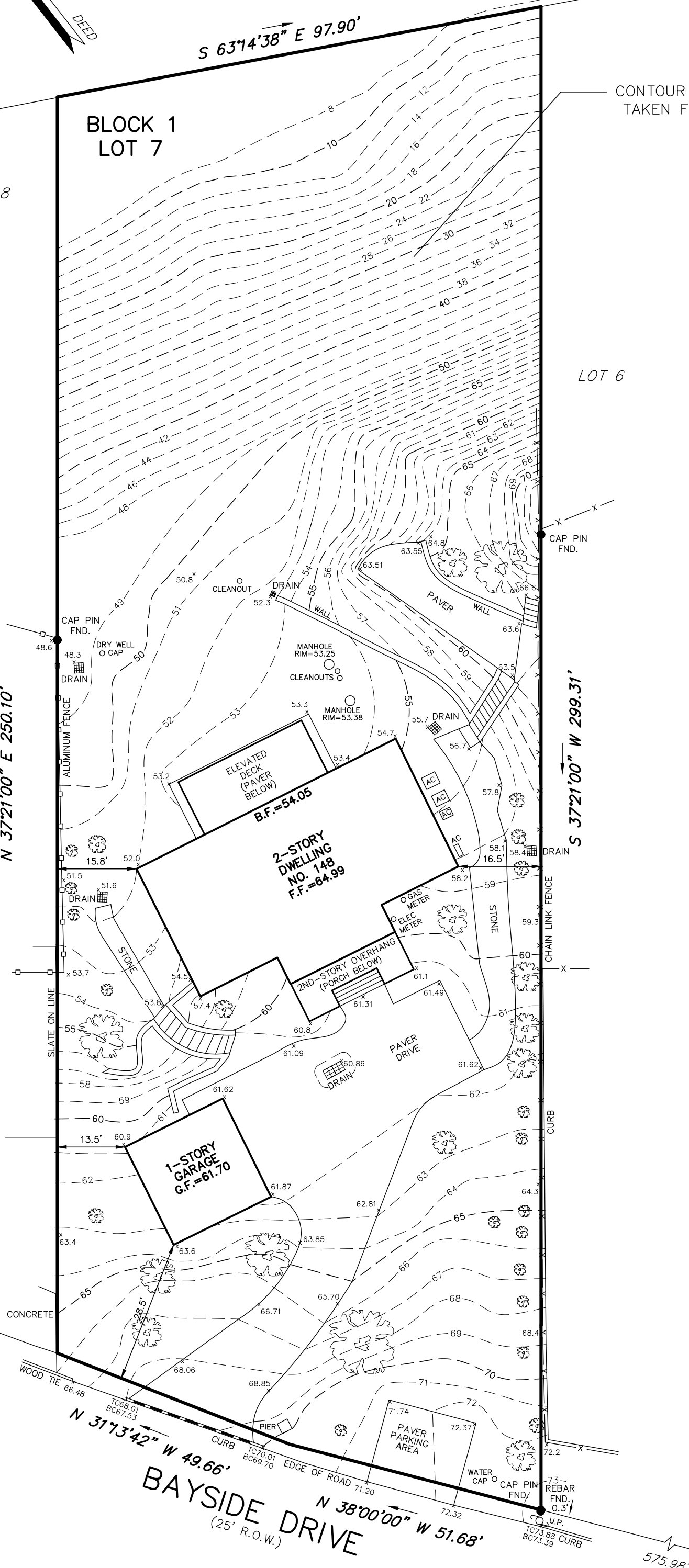
BLOCK 1
LOT 7

LOT 8

LOT 6

N 37°21'00" E 250.10'

S 37°21'00" W 299.31'



BOROUGH OF ATLANTIC HIGHLANDS
BOROUGH OF HIGHLANDS
BOROUGH LINE

TOPOGRAPHIC SURVEY

148 BAYSIDE DRIVE
LOT 7 BLOCK 1

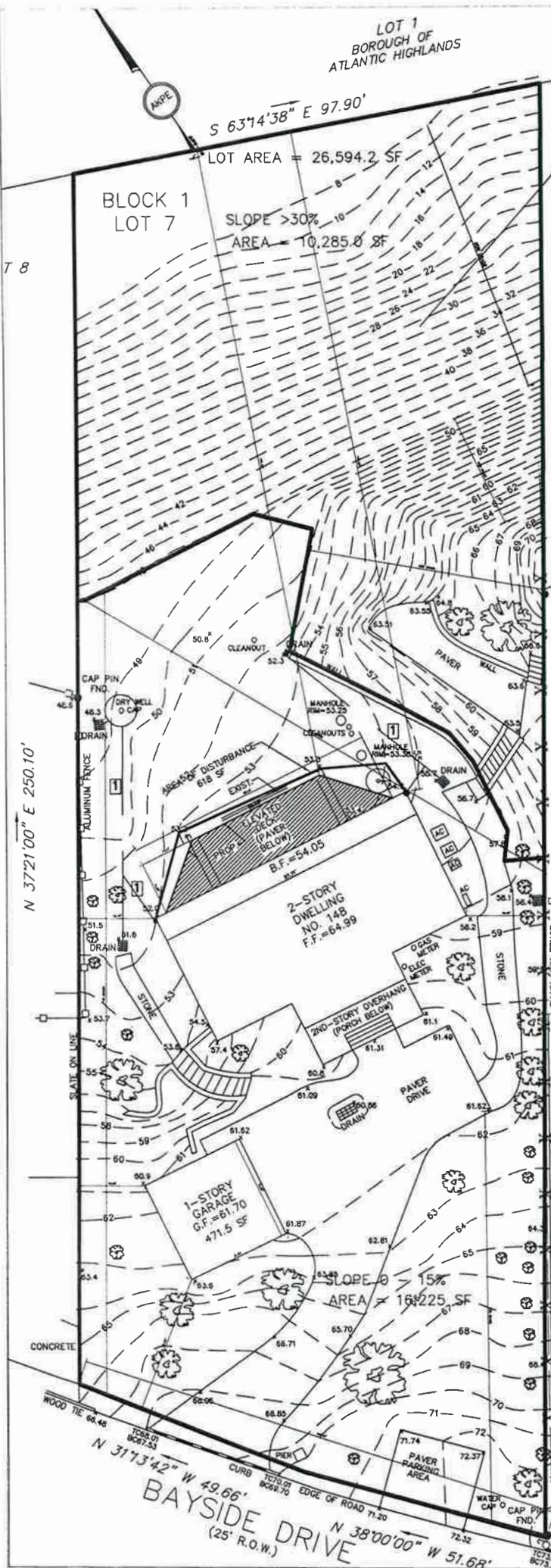
BOROUGH OF ATLANTIC HIGHLANDS MONMOUTH COUNTY

NEW JERSEY

Charles Surmonte P.E. & P.L.S.
New Jersey Professional Engineer and Land Surveyor
License No. 35885

301 Main Street, 2nd Floor
Allenhurst, New Jersey, 07711
Phone 732-660-0606
Fax 732-660-0404

PROJECT No. 19-184	DATE: 02-22-23	SCALE: 1"=20'	SHEET: 1 OF 1
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CONTOUR LINES BELOW ELEVATION 50
TAKEN FROM COUNTY GIS MAPPING

STORM WATER NOTES

- 1. ASSUMED STORM WATER DRAINAGE PIPING
- 1. THERE IS EXTENSIVE STORM WATER DRAINAGE SYSTEM EXISTING ON SITE.
- 2. THE SYSTEM HAS NOT BEEN THOROUGHLY INVESTIGATED.
- 3. IT SHOULD BE INSPECTED AS PART OF ONGOING MAINTENANCE.
- 4. THE INCREASE IN IMPERVIOUS COVER IS MINIMAL AND SHOULD NOT AFFECT THE CAPACITY OF THE EXISTING SYSTEM.

ZONING REQUIREMENTS	R-3		
	REQUIRED	EXISTING	PROPOSED
LOT AREA (MIN)	30,000 SF	*26594.25F	*17253.5
LOT WIDTH (MIN)	100 FT	101.34 FT	101.34 FT
SET BACK FRONT	25 FT	28.52 FT	28.52 FT
SET BACK REAR	30 FT	137.88 FT	137.88 FT
SET BACK SIDE (EACH)	15 FT EACH	16.5/15.8 FT	16.5/15.8 FT
ACCESSORY BUILDING			
SET BACK SIDE YARD	10	13.35	13.35
SET BACK REAR YARD	5	28.5	28.5
BUILD'G COVERAGE (MAX)	12%	15.9%	16.7%(V)
IMPERVIOUS COVERAGE	30%	22%	22%
LOT COVERAGE (MAX)	5635.88 SF	6196 SF	6,196 SF
BUILD'G HEIGHT (MAX)	35 FT	31.5 ft	31.5 ft
BUILDING STORIES	2 1/2	3	3(V)
* ZONING CALCS ARE BASED ON REDUCED LOT SIZE OF 17,253.5 SF			
(V) NON-CONFORMING			

LOT 6

TOTAL LOT SIZE = 26,594.2 SF

SLOPE AREAS:

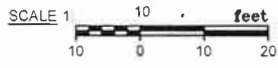
- 0-15% 16,225.00 SF
- > 30% 10,285.00 SF

REDUCED ALLOWABLE LOT SIZE BASED ON SLOPES = 17,253.50 SF
 ALLOWABLE MAXIMUM LOT COVERAGE = 5,638.88 SF
 ALLOWABLE MAXIMUM IMPERVIOUS COVERAGE = 6,707.25 SF
 MAXIMUM ALLOWABLE DISTURBANCE = 8,719.43 SF
 PROP. DISTURBANCE THIS PROJECT = 618 SF APPROXIMATE

EXIST. BUILDING SQUARE FOOTAGE = 2,750 SF (INCL HOUSE ROOF AREA, DECK & GARAGE)
 EXISTING IMPERVIOUS SQUARE FOOTAGE = 3710.34 SF
 PROP. BUILDING SQUARE FOOTAGE = 2,879 SF
 PROP. IMPERVIOUS SQUARE FOOTAGE = 3788.34 SF

I HEREBY CERTIFY THAT NO TREES OVER 6" CALIPER SHALL BE REMOVE AS PART OF THIS PROJECT.
 ALICE KUPPER, PE LIC. # 30679

SITE PLOT
SCALE: 1" = 30'



BOUNDRY & TOPOGRAPHIC INFORMATION FROM SURVEY BY
 CHARLES SURMONTE, PE & LS, LIC #35885, DATED 2--22--23.

LEGEND

- PROP. ROOF DRAIN
- EXISTING GRADE
- PROPOSED GRADE
- EXIST CONTOUR
- PROP. CONTOUR
- GRASS PLANTING AREA
- ☺ TREE
- UTILITY POLE
- SWALE

STEEP SLOPE ANALYSIS & SITE PLAN

148 BAYSIDE DRIVE, BLOCK 1, LOT 7
 BOROUGH OF ATLANTIC HIGHLANDS, COUNTY OF MONMOUTH, NEW JERSEY
 OWNER: TORRES

ALICE KUPPER, PE LIC. # 30679
 PO BOX 365, ATL. HIGHLANDS, NJ 07716
 E-MAIL: alice@kupperpe.com DATED: 4/26/2023

A. Kupper, P. E.

P.O. BOX 365

ATLANTIC HIGHLANDS, NJ 07716

PHONE 732-291-3085

E-mail: alice@kupperpe.com

Alice Kupper, PE

NJ lic # 030679

NY lic #063113

June 5, 2023

Ms Nancy Tran
Planning Board Secretary
Borough of Atlantic Highlands
100 First Avenue
Atlantic Highlands, NJ 07716

RE: Torres (PB22-26)

Bulk Variance Review No.1

Location: 148 Bayside Drive, Block 1, Lot 7, Zone 3

CME File: HAHP0001.04

Dear Ms Tran:

This is in response to the letter of January 30, 2023 from Douglas M. Rohmeyer, PE, of CME.

1. A steep slope analysis was done and a plan with analysis and calculation results is attached.
2. Newly completed Variance application is attached.
3. Volume of ground floor is 16,655 cf. Volume above grade is 12,629 cf. Percentage of story above ground is 78% . Additionally, first floor of house is more than 3 ft above grade and there are bedrooms on the lowest level. This is an existing use and condition.
4. Site plan for the steep slope analysis is based on the latest survey of the property signed sealed by the surveyor.
5. Steep slope plan shows all proposed exterior improvements and is scalable.
6. The existing detached garage is one story high and 471.5 SF. It has electricity.

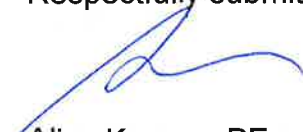
With the steep slope calculation, revised zoning analysis and amended it appears that the side yard setbacks are no longer an issue. The non-conforming issues that remain and are existing are bulk variance and number of stories.

7.

- a) The existing non-conformances are minor and would create a hardship if the owner is not granted relief.
- b) The additional storm water run-off is minimal. Vertical leaders will collect storm water from the roof and decks and direct to the existing system of storm water underground drains and drywells.
- c) There is no proposed landscaping, buffers or tree removal
- d) There are 2 existing bedrooms in the basement, a master bedroom on the main floor and two proposed bedrooms in the proposed dormers.
- e) I could not locate anything in the code which disallows having more than the minimum parking spaces or curb cuts.
- f) The building height has be discussed above.
- g) No trees are to be removed.

Attached herewith are the letter this is referencing, copy of steep slope analysis and site plan, revised zoning application, revised architectural drawings.
Thank you

Respectfully submitted,



Alice Kupper, PE

JOHN H. ALLGAIR, PE, PP, LS (1983-2001)
DAVID J. SAMUEL, PE, PP, CME
JOHN J. STEFANI, PE, LS, PP, CME
JAY B. CORNELL, PE, PP, CME
MICHAEL J. McCLELLAND, PE, PP, CME
GREGORY R. VALES, PE, PP, CME



BRUCE M. KOCH, PE, PP, CME
LOUIS J. PLOSKONKA, PE, CME
TREVOR J. TAYLOR, PE, PP, CME
BEHRAM TURAN, PE, LSRP
LAURA J. NEUMANN, PE, PP
DOUGLAS ROHMEYER, PE, CFM, CME
ROBERT J. RUSSO, PE, PP, CME
JOHN J. HESS, PE, PP, CME
KEITH CHIARAVALLA, PE, CME

July 14, 2023

Atlantic Highlands Borough Building Department
100 First Avenue
Atlantic Highlands, NJ 07716

Attn: Nancy Tran – Planning Board Secretary

Re: *Torres (PB22-26)*
Bulk Variance Review No. 2
Location: 148 Bayside Drive
Block 1, Lot 7
Zone: R-3 (Residential District)
Borough of Atlantic Highlands, Monmouth County, NJ
Our File: HAHP0001.04

Dear Planning Board:

Our office has performed a steep slope review of the following information relative to the above referenced development application compared to the Borough of Atlantic Highlands Steep Slope ordinance:

- Survey entitled “Topographic Survey, 148 Bayside Drive, Lot 7, Block 1, Borough of Atlantic Highlands, Monmouth County, New Jersey” consisting of one (1) sheet prepared by Charles Surmonte, PE, PLS, dated February 22, 2023;
- Plans entitled “Steep Slope Analysis & Site Plan, 148 Bayside Drive, Block 1, Lot 7, Borough of Atlantic Highlands, County of Monmouth, New Jersey” consisting of one (1) sheet prepared by Alice Kupper, PE, dated April 26, 2023;
- Architectural plans entitled “Interior Renovations + Dormer Addition + Deck Addition: Torres Residence, 148 Bayside Drive, Atlantic Highlands, NJ 07716” consisting of five (5) sheets prepared by Thomas Dores, RA of RM 117 Architecture and Design, dated May 23, 2023;
- Resubmission letter, prepared by Alice Kupper, PE, dated June 5, 2023; and,
- Planning Board Variance Application, dated December 5, 2022.

We have reviewed this application for Bulk Variance approval and offer the following comments:

1. Property Description

The subject property is an undersized lot containing 26,594 SF within an R-3 Zone District and the steep slope area and provides 101.34 feet of road frontage along the northern side of Bayside Drive. The property currently contains a 2.5-story dwelling, covered front porch, detached garage, two (2) paver driveways, and rear deck. The NJDEP NJ-GeoWeb online resource depicts partial wetlands on the northern portion of the subject property.



Nancy Tran – Planning Board Secretary
 Atlantic Highlands Planning Board
 Re: 148 Bayside Drive – Bulk Variance Review #2
 Block 1, Lot 7

July 14, 2023
 Our File No. HAHP0001.04
 Page 2

The Applicant proposes to construct two dormer additions to the existing home as well as additional elevated rear decks on the second and third floors and expansion of the ground floor rear deck.

2. Surrounding Uses

Properties surrounding the subject site are similarly zoned R-3 and contain primarily single-family residential uses.

3. Zoning Compliance

The subject property is situated within an R-3 Zone District and the table below summarizes the bulk measures and zone requirements for the property:

Table 1: Bulk Standards, R-3 Zone (§150-29(A)(2) Exhibit 5-2)			
Standard	Required	Existing	Proposed
Minimum Lot Area (sq. ft.)	30,000	26,594	26,594 (EC)
Minimum Lot Frontage & Width (ft.)	100	101.34	101.34
Minimum Lot Shape Diameter Interior Lot (ft.)	65	±65	±65
Principal Building Setbacks			
Front Yard (ft.)	25	76.5	76.5
Side Yard (ft.)	15	15.8	15.8
Combined Side Yard (ft.)	30	32.3	32.3
Rear Yard (ft.)	30	137.88	137.88
Accessory Building/ Struct. Setbacks			
Side Yard (ft.)	10	13.5	13.5
Rear Yard (ft.)	5	28.5	28.5
Building Coverage	12%	±9.16%*	±9.16%*
Lot (Impervious Surface) Coverage	30%	±23.5%	±24.0%
Building Height (stories.)	2 ½	2 ½	3 (V)
Maximum Building Height (ft.)	35	31.5	31.5
Maximum Acc. Building Height (stories.)	1	1	1
Maximum Acc. Building Height (ft.)	16	(TBP)	(TBP)
Maximum Useable Floor Area Ratio	0.175	0.149	0.170
Minimum Gross Floor Area, 2-Story			
First Floor (sq. ft.)	900	±1,794	±1,794
Total Floors (sq. ft.)	1,800	±4,758	±5,303

(EC): Existing Condition (V): Variance Required (TBP): To Be provided

* Applicant specifies building coverage as 14 percent in both existing and proposed, however, plan scaling shows number to be 9.16 percent. Applicant to confirm.

4. The subject property is located within the steep slope area of the Borough. A slope area permit is required for the proposed work.



Nancy Tran – Planning Board Secretary
 Atlantic Highlands Planning Board
 Re: 148 Bayside Drive – Bulk Variance Review #2
 Block 1, Lot 7

July 14, 2023
 Our File No. HAHP0001.04
 Page 3

- a) Based upon our review of this application we find that the proposed improvements will meet the numeric requirements of Steep Slope Application, per Ordinance Section 150-78.E. A summary of the approximate allowable steep slope areas is provided in Table 1 below as calculated by the Applicant’s surveyor.

Table 1: Allowable Steep Slope Areas, §150-78(E)			
Standard	Required	Existing	Proposed
Maximum Lot Coverage	5,639 SF	6,196 SF	6,196 SF (EC)
Maximum Impervious Area	6,707 SF	6,196 SF	6,196 SF
Maximum Lot Disturbance	8,719 SF	N/A	618 SF

- 5. It appears that the Applicant will require relief from the following variance with respect to this development application:
 - a) **Section 150-29(A)(2)(Exhibit 5-2)** – The maximum building height (stories) is 2 ½ stories, whereas 3 stories are proposed.
- 6. It appears that the following existing non-conformities would remain with respect to this Application.
 - a) **Section 150-29(A)(2)(Exhibit 5-2)** – The minimum required lot area is 30,000 square feet, whereas a 26,594 square feet is to remain. This is an existing non-conformity.
 - b) **Section 150-78(E)** – The maximum lot coverage is 5,639 square feet, whereas 6,196 square feet is to remain. This is an existing non-conformity.
- 7. The Applicant has not requested any submission waivers at this time and none appear necessary.

Based upon the items listed below, our office recommends that the application be deemed **COMPLETE**. Once the items noted below have been submitted, our office will review for completeness, prepare any additional review comments and indicate when the Applicant may be scheduled for a public hearing.

- 8. Based upon our review of the subject application, we estimate that the following fees are required:

<u>Ordinance Section</u>	<u>Description</u>	<u>Application Fee</u>	<u>Escrow Fee</u>
168-2.D.(4)	Hardship Variance	\$150.00	\$350.00 (min)

We recommend the Borough collect \$150.00 in nonrefundable application fees and \$350.00 in professional services escrow fees from the Applicant prior to deeming the application complete.

- 9. The Applicant should be prepared to discuss the following issues with the Board:
 - a) Reasons supporting the granting of the requested bulk variances and/or design waivers and continuance of the existing condition nonconformities.



Nancy Tran – Planning Board Secretary
Atlantic Highlands Planning Board
Re: 148 Bayside Drive – Bulk Variance Review #2
Block 1, Lot 7

July 14, 2023
Our File No. HAHP0001.04
Page 4

- b) Several inconsistencies exist between the zoning tables provided. Applicant should clarify floor areas, lot coverage, building coverage, and accessory building height. We note the applicant requests a variance for building coverage (the area of a tract covered by buildings and roofed areas), however, our calculations show such a variance is not required. Applicant to confirm. We recommend any approval, if granted, be conditioned upon submission of a plan that reconciles all inconsistencies.
- c) The Applicant should discuss if any structural analysis were performed, either by a licensed geotechnical or structural engineer, regarding the increased load on the building foundation pertaining to the new additions and whether modifications / improvements are required for the building foundation noting that the subject property is located in close proximity to a steep slope area and defined slump block.
- d) Applicant should demonstrate compliance with the steep slope requirements of Ordinance Section 150-78 and specifically discuss runoff. Applicant should provide testimony on the existing stormwater system, including discharge point and drywell, and address concentration of flows and effects on adjacent properties. We note the property includes steep slopes exceeding 75 percent in the rear and recently was subject to erosion and slumping. Applicant should discuss how stormwater runoff is conveyed down the slope and how runoff from proposed additional impervious area will be mitigated. Should any portion of the post developed lot impact drainage conditions on the subject property or adjacent properties, the Applicant will be required to correct any deficiencies to the satisfaction of the Borough Engineer.
- e) Applicant should demonstrate conformance with parking requirements noting the total number of bedrooms is proposed to increase from three (3) to five (5). Per RSIS, five-bedroom residential dwellings require a minimum of three (3) parking spaces. We note two (2) driveways appear to exist along Bayside Drive.
- f) The Applicant should discuss construction access and methods, as well as proposed disturbance.
- g) A septic system appears to exist to the rear of the existing home in the vicinity of the proposed work. Applicant should discuss location of this system and confirm the system will not need remedial work due to location conflict or damage from construction activities. Applicant, including professionals and contractors, maintains responsibility for protection of septic system.
- h) Applicant shall submit additional photos of the rear yard, specifically proposed work area and steep slope area.
- i) The Applicant shall be responsible for complying with all applicable requirements outlined in Section 163 (Excavation) of the Borough of Atlantic Highlands municipal code. Applicant should provide testimony confirming same.
- j) The Applicant should discuss compliance with all applicable requirements outlined in Section 150-89 (Improvement Standards) of the Borough of Atlantic Highlands municipal code.



Nancy Tran – Planning Board Secretary
Atlantic Highlands Planning Board
Re: 148 Bayside Drive – Bulk Variance Review #2
Block 1, Lot 7

July 14, 2023
Our File No. HAHP0001.04
Page 5

- k) The Applicant should address the Board regarding any required outside agency approvals for the site. It appears that the proposed is located within a CAFRA zone. Additionally, wetlands appear to exist on the northern side of the property. Copies of all outside agency approvals shall be forwarded to this office.
- l) The Applicant should clarify whether any modifications are required / proposed for the existing utilities servicing the dwelling.

The right is reserved to present additional comments pending the receipt of revised Plans and/or testimony of the Applicant before the Board.

If you have any questions with regard to the above matter, please do not hesitate to call.

Very truly yours,

CME ASSOCIATES

Drew Paul's for:
Douglas M. Rohmeyer, PE, CME, CFM
Planning Board Engineer

DEP/JM

cc: Robert Ferragina – Borough Administrator
Michael B. Steib, Esq. – Board Attorney
Michelle Clark – Zoning Officer
Javier Torres – Applicant
Thomas Dores, RA – Applicant's Architect

AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY :

: SS

COUNTY OF :

I, Javier Torres, being of full age, and being duly sworn according to law on oath deposes and says that the deponent resides at 148 Bayside Drive in the town of Atlantic Highlands of _____, in the County of Monmouth and the State of NJ that Javier Torres is the owner in fee of all that certain lot, piece of parcel of land situated, lying and being in the municipality aforesaid, and known and designated as Block 1, Lot(s) 7.

Sworn to and subscribed before me this 2nd day of December, 2022.

[Signature]
Property Owner Signature

[Signature]
Notary Seal

CORINNE BUSICHIO
Notary Public, State of New Jersey
Comm. # 50202503
My Commission Expires 8/25/2027

AUTHORIZATION

(If anyone other than the above owner is making this application, the following authorization must be executed)

I hereby authorize _____ to make the within application.

Signature

Date

**CAMPAIGN CONTRIBUTION DISCLOSURE STATEMENT PROVIDED PURSUANT TO
SECTION 9-3.2k, OF THE REVISED GENERAL ORDINANCES OF
THE BOROUGH OF ATLANTIC HIGHLANDS**

COUNTY OF MONMOUTH :

: SS

STATE OF NEW JERSEY :

I, Javier Torres, of Monmouth County,
whose address is 148 Bayside Drive, Atlantic Highlands, NJ,

being of full age certify as follows:

1. I have not knowingly made any campaign contribution to or on behalf of any candidate, candidate committee, joint candidate's committee, political committee, continuing political committee or political party committee of, or pertaining to, the Borough of Atlantic Highlands, within one year prior to filing the variance application and/or during the pendency of the application process for a variance, and that I have not otherwise violated Chapter 9-3 of the General Ordinances of the Borough of Atlantic Highlands hereof.
2. I understand that I have a continuing duty to report immediately to the Borough of Atlantic Highlands any campaign contributions made in violation of Section 9-3 of the General Ordinances of the Borough of Atlantic Highlands.

I certify that the foregoing statements made by me are true. I understand that if any of the statements made by me are willfully false, I am subject to punishment.

Dated: 12/2/22 Signed: [Signature]

I certify that on this 2nd day of December, 2022, the subscriber,
Javier Torres, personally appeared who I am satisfied is the person
named herein and who executed the within instrument and thereupon she/he
acknowledges that she/he signed, sealed and delivered as her/his act and deed, for the
uses and purposes therein expressed.

[Signature]
Notary Seal
My Commission expires on 8/25/22

CORINNE BUSICHIO
Notary Public, State of New Jersey
Comm. # 50202503
My Commission Expires 8/25/2027

All developers, associates of developers and development professionals who apply for or provide testimony, plans or reports in support of a variance as listed below, and who have an enforceable proprietary interest in the property or development which is the subject of an application or whose fee in whole or in part, is contingent upon the outcome of the application, are required to provide this Contribution Disclosure Statement which shall be included as an element of the "Applicant Checklist" submitted with an application for variance pursuant to NJS 40:55D-70(d) as well as for relief pursuant to NJS 40:55-D-70(c) or NJS 40:55D-51 in applications for site plan and subdivision approval not considered to be minor site plans or minor subdivisions pursuant to the Ordinances of the Borough of Atlantic Highlands. This requirement is pursuant to Section 9-3.2k, of the Revised General Ordinances of the Borough of Atlantic Highlands.



**BOROUGH OF
ATLANTIC HIGHLANDS**

100 FIRST AVENUE
ATLANTIC HIGHLANDS, NEW JERSEY 07716
732-291-1444 FAX 732-291-9725
WWW.AHNJ.COM

**VERIFICATION THAT PROPERTY TAXES AND
WATER AND SEWER BILLS HAVE BEEN PAID**

(Must Accompany All Planning Board Applications)

BLOCK: 1 LOT(S): 7

NAME: Javier Torres

ADDRESS: 148 Bayside Drive
Atlantic Highlands, NJ 07716

Property taxes on the above property are paid to date.

Kathleen Intravartolo 12/2/2022
Kathleen Intravartolo, Tax Collector Date

Water and Sewer Charges on the above property are paid to date.

Diane Berg 12/2/2022
Diane Berg, Utility Collector Date

RECEIVED

DEC 13 2022

PLANNING BOARD



**BOROUGH OF
ATLANTIC HIGHLANDS**

100 FIRST AVENUE
ATLANTIC HIGHLANDS, NEW JERSEY 07716
732-291-1444 FAX 732-291-9725
WWW.AHNJ.COM

PLANNING BOARD

December 14, 2022

Mr. Douglas Rohmeyer, PE, CME, CFM
CME Associates
1460 Route 9 South
Howell, NJ 07731

RE: **PB22-26, Block 1, Lot(s) 7, 148 Bayside Dr.
Application for Bulk & Use Variance
Javier Torres**

Dear Mr. Rohmeyer:

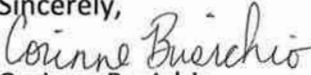
Enclosed for your review, please find the following items to be reviewed for Completeness:

- Variance Application-Received 12/13/22
- Development Plan checklist-dated 12/12/22
- Zoning denial letter-dated 11/21/22
- Property Survey-dated 3/18/19
- Architectural Drawings dated -10/24/22

Please Note: As per our e-mail correspondence, this application involves steep slope. You stated that steep slope can be reviewed simultaneously with the technical review.

Please issue your report no later than January 30th, 2022.

Sincerely,


Corinne Busichio
Planning Board Secretary

cc: Michael B. Steib, PA

JOHN H. ALLGAIR, PE, PP, LS (1983-2001)
DAVID J. SAMUEL, PE, PP, CME
JOHN J. STEFANI, PE, LS, PP, CME
JAY B. CORNELL, PE, PP, CME
MICHAEL J. McCLELLAND, PE, PP, CME
GREGORY R. VALES, PE, PP, CME



BRUCE M. KOCH, PE, PP, CME
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BEHRAM TURAN, PE, LSRP
LAURA J. NEUMANN, PE, PP
DOUGLAS ROHMEYER, PE, CFM, CME
ROBERT J. RUSSO, PE, PP, CME
JOHN J. HESS, PE, PP, CME
KEITH CHIARAVALLLO, PE, CME

January 30, 2023

Atlantic Highlands Borough Building Department
100 First Avenue
Atlantic Highlands, NJ 07716

Attn: Corinne Busichio – Planning Board Secretary

Re: *Torres (PB22-26)*
Bulk Variance Review No. 1
Location: 148 Bayside Drive
Block 1, Lot 7
Zone: R-3 (Residential District)
Borough of Atlantic Highlands, Monmouth County, NJ
Our File: HAHP0001.04

Dear Planning Board:

Our office has performed a steep slope review of the following information relative to the above referenced development application compared to the Borough of Atlantic Highlands Steep Slope ordinance:

- Survey entitled “Survey of Property, 148 Bayside Drive, Lot 7, Block 1, Borough of Atlantic Highlands, Monmouth County, New Jersey” consisting of one (1) sheet prepared by Charles Surmonte, PE, PLS, dated March 18, 2019, last revised June 5, 2019;
- Architectural plans entitled “Interior Renovations + Dormer Addition + Deck Addition: Torres Residence, 148 Bayside Drive, Atlantic Highlands, NJ 07716” consisting of five (5) sheets prepared by Thomas Dores, RA of RM 117 Architecture and Design, dated October 24, 2022 unrevised:
- Development Plan Checklist dated December 12, 2022;
- Zoning Officers denial letter dated November 21, 2022;
- Borough Transmittal Letter, dated December 14, 2022;
- Planning Board Variance Application dated December 5, 2022.

We have reviewed this application for Bulk Variance approval and offer the following comments:

1. Property Description

The subject property is an undersized lot containing 26,594 SF within an R-3 Zone District and the steep slope area and provides 101.34 feet of road frontage along the northern side of Bayside Drive. The property currently contains a 2.5-story dwelling, covered front porch, detached garage, two (2) paver driveways, and rear deck.



Corinne Busichio – Planning Board Secretary
 Atlantic Highlands Planning Board
 Re: 148 Bayside Drive – Bulk Variance Review #1
 Block 1, Lot 7

January 30, 2023
 Our File No. HAHP0001.04
 Page 2

The Applicant proposes to construct two dormer additions to the existing home as well as additional elevated rear decks on the second and third floors and expansion of the ground floor rear deck. The Applicant has not requested variance relief, however, the zoning officer identified variances required for minimum lot size and maximum building height.

2. Surrounding Uses

Properties surrounding the subject site are similarly zoned R-3 and contain primarily single-family residential uses.

3. Zoning Compliance

The subject property is situated within an R-3 Zone District and the table below summarizes the bulk measures and zone requirements for the property:

Table 1: Bulk Standards, R-3 Zone (§150-29(A)(2) Exhibit 5-2)			
Standard	Required	Existing	Proposed
Minimum Lot Area (sq. ft.)	30,000	26,594	26,594 (EC)
Minimum Lot Frontage & Width (ft.)	100	101.34	101.34
Minimum Lot Shape Diameter Interior Lot (ft.)	65	±65	±65
Principal Building Setbacks			
Front Yard (ft.)	25	76.5	76.5
Side Yard (ft.)	15	15.8	±12.5 (V)
Combined Side Yard (ft.)	30	32.3	±29 (V)
Rear Yard (ft.)	30	139.5	±128.5
Accessory Building/ Struct. Setbacks			
Side Yard (ft.)	10	13.5	13.5
Rear Yard (ft.)	5	28.5	28.5
Building Coverage	12%	±10.8%	±10.8%
Lot (Impervious Surface) Coverage	30%	±20%	±20%
Building Height (stories.)	2 ½	2 ½	3 (V)
Maximum Building Height (ft.)	35	31.5	31.5
Maximum Acc. Building Height (stories.)	1	(TBP)	(TBP)
Maximum Acc. Building Height (ft.)	16	(TBP)	(TBP)
Maximum Useable Floor Area Ratio	0.175	0.067	0.067
Minimum Gross Floor Area, 2-Story			
First Floor (sq. ft.)	900	±1,794	±1,794
Total Floors (sq. ft.)	1,800	±5,385	±5,385

(EC): Existing Condition

(V): Variance Required

(TBP): To Be provided



Corinne Busichio – Planning Board Secretary
Atlantic Highlands Planning Board
Re: 148 Bayside Drive – Bulk Variance Review #1
Block 1, Lot 7

January 30, 2023
Our File No. HAHP0001.04
Page 3

The Applicant has not provided any steep slope calculations per Ordinance Section 150-78.E., nor any topography of the property. It is unclear if variance relief from any steep slope items are required.

4. It appears that the Applicant will require relief from the following variance with respect to this development application:
 - a) **Section 150-29(A)(2)(Exhibit 5-2)** – The minimum required side yard setback is 15 feet, whereas 12.5 feet is proposed.
 - b) **Section 150-29(A)(2)(Exhibit 5-2)** – The minimum required combined side yard setback is 30 feet, whereas 29 feet is proposed.
 - c) **Section 150-29(A)(2)(Exhibit 5-2)** – The maximum building height (stories) is 2 ½ stories, whereas 3 stories are proposed.
5. It appears that the following existing non-conformities would remain with respect to this Application.
 - a) **Section 150-29(A)(2)(Exhibit 5-2)** – The minimum required lot area is 30,000 square feet, whereas a 26,594 square feet is to remain. This is an existing non-conformity.
6. The Applicant has not requested any submission waivers at this time and none appear necessary.

Based upon our review, our office recommends that the application be deemed **INCOMPLETE**. Once the items noted below have been submitted, our office will continue the review for completeness, prepare any additional review comments and indicate when the Applicant may be scheduled for a public hearing.

1. Applicant should provide calculations demonstrating the improvements comply with the numerical steep slope requirements of Ordinance Section 150-78.E. Detailed calculations should be provided for lot size, lot coverage, impervious coverage, and disturbance. Limit of disturbance should be depicted on the revised plan. Applicant should demonstrate compliance with the steep slope requirements of Ordinance Section 150-78.D.
2. Applicant should properly complete variance application.
3. Applicant should provide calculations for building height in stories, noting 2.5 stories are permitted and three (3) appear to be proposed, and confirm if lowest floor is a basement



Corinne Busichio – Planning Board Secretary
Atlantic Highlands Planning Board
Re: 148 Bayside Drive – Bulk Variance Review #1
Block 1, Lot 7

January 30, 2023
Our File No. HAHP0001.04
Page 4

or cellar per §150 Exhibit 5-5. We note provided survey identifies existing structure as 2 stories.

4. Applicant should reconcile existing conditions in survey and site plan. We note several inconsistencies exist between these documents, including building height (stories), stairs, and retaining walls.
5. Applicant shall provide a scalable site plan with all proposed improvements.
6. Applicant should provide details on the existing detached garage, including stories, height, and utilities.
7. Applicant should show demolition work on revised site plan, and clarify if the existing rear deck is to be demolished and replaced.

Based upon our review of the subject application, we estimate that the following fees are required:

<u>Ordinance Section</u>	<u>Description</u>	<u>Application Fee</u>	<u>Escrow Fee</u>
168-2.D.(4)	Hardship Variance	\$150.00	\$350.00 (min)

We recommend the Borough collect \$150.00 in nonrefundable application fees and \$350.00 in professional services escrow fees from the Applicant prior to deeming the application complete.

7. The Applicant should be prepared to discuss the following issues with the Board:
 - a) Reasons supporting the granting of the requested bulk variances and/or design waivers and continuance of the existing condition nonconformities.
 - b) Stormwater runoff including how additional coverage and improvements will be mitigated. Applicant should discuss runoff from proposed roof expansion and modifications, roof leader location, yard drainage, and address concentration of flows and effects on adjacent properties.
 - c) Any landscaping work including buffers, proposed plantings, and tree removal.
 - d) Number of bedrooms in existing and proposed conditions.
 - e) Applicant should demonstrate conformance with parking requirements. We note two (2) driveways appear to exist along Bayside Drive.
 - f) Applicant should discuss building height and number of stories. It appears that the existing home consists of three (3) stories, where 2.5 are permitted.
 - g) The Applicant shall confirm that no trees over a 6" caliper are to be removed as part of the proposed development. Any trees to be removed will require a tree removal permit.



Corinne Busichio – Planning Board Secretary
Atlantic Highlands Planning Board
Re: 148 Bayside Drive – Bulk Variance Review #1
Block 1, Lot 7

January 30, 2023
Our File No. HAHP0001.04
Page 5

Revised plan should clearly indicate the proposed trees to be removed as indicated in the letter.

The right is reserved to present additional comments pending the receipt of revised Plans and/or testimony of the Applicant before the Board.

If you have any questions with regard to the above matter, please do not hesitate to call.

Very truly yours,

CME ASSOCIATES

Douglas M. Rohrmeier, PE, CME, CFM
Planning Board Engineer

DEP/JM

cc: Robert Ferragina – Borough Administrator
Michael B. Steib, Esq. – Board Attorney
Michelle Clark – Zoning Officer
Javier Torres – Applicant
Thomas Dores, RA – Applicant's Architect

BOROUGH OF ATLANTIC HIGHLANDS
APPLICATION FOR DEVELOPMENT PERMIT

Instructions: Submit this completed application, copy of property survey, (2) copies of related plans. Property survey cannot be reduced or enlarged or be taken by facsimile transmission. **.\$30.00 NON REFUNDABLE FEE**

PROPERTY INFORMATION: **BLOCK : 1 LOT(S): 7 ZONE: R-3**

PROPERTY ADDRESS: 148 BAYSIDE DRIVE, ATLANTIC HIGHLANDS, NJ 07716. Describe in detail the proposed development; include square footage, height, location, proposed use). If the application is for an addition, describe the purpose (ex: bedroom). If the application involves a change of use of the property, a separate narrative is suggested. **If the property contains slopes, a steep slope permit must be obtained prior to any development.** Create two ,300 S.F. dormers, one on each side of the house on the loft space level. The dormers will house two new bedrooms and two new bathrooms. We will also be adding a two-story deck off the loft space level. There is no change to the height of the building, new dormers will be below the current ridge line.

Current use of property: Residential

Is the property located on a corner lot or abut more than one street? Yes _____ No X
If yes, name of street(s) _____

Does the property contain any easements or other restrictions? Yes _____ No X

Is the property situated within 50' of the following: ponds, streams, brooks, marshes, rivers, creeks, etc, or other low lying areas; or is the property located within 500' of the mean high water line or any area regulated by the Department of Environmental Protection? Yes _____ No X
(If you answered yes, you must contact the NJDEP at 609-292-0060 to obtain clearance, prior to submitting this permit. Violations of the Wetlands could result in fines imposed by the State of New Jersey.)

PROPERTY OWNER Javier Torres

Mailing Address 148 BAYSIDE DRIVE, ATLANTIC HIGHLANDS, NJ 07716

APPLICANT (If different than owner) _____
Mailing Address _____

PLEASE READ THE FOLLOWING: I hereby certify the **(check one)** X I am the owner of the subject property; or ___ I have permission from the property owner to submit this Application for Development. I certify, to the best of my knowledge all the information contained on this application is correct; and the survey provided is accurate and shows all structures located on the site. In addition, I grant permission to the Borough of Atlantic Highlands and their agents to come onto the subject property, for the purpose of conducting inspections, relating to this application.

DATE _____ **SIGNATURE** _____
*****This permit is issued for the purpose of property zoning only. Permit expires oneyear from the date of approval*****

_____ DEVELOPMENT PERMIT APPROVED – CONDITIONS _____

_____ DEVELOPMENT PERMIT DENIED _____

DATE _____ **ZONING OFFICER** _____



**BOROUGH OF
ATLANTIC HIGHLANDS**

100 FIRST AVENUE
ATLANTIC HIGHLANDS, NJ 07716
732-291-1444 FAX 291-9725
WWW.AHNJ.COM CLERK@AHNJ.COM

MICHELLE CLARK, ZONING OFFICER

RECEIVED

To: Javier Torres
48 Bayside Drive

DEC 13 2022

From: Michelle Clark
Zoning Officer

PLANNING BOARD

Date: November 21, 2022

Re: Block 1, Lot 7, 48 Bayside drive

I have reviewed your application for construction of two dormer additions and deck in the R-3 Zone for compliance with the Borough of Atlantic Highlands Zoning Code.

The following approvals are necessary:

Section 5-2

Minimum lot size 30,000 sf required; 26,594 exists
Maximum height 2 ½ stories – proposed 3 stories

150-78

Application must be made to the Borough Engineer for Steep Slope Approval

To proceed with an application to the Planning Board please contact 732-291-1444 ext 3108 or email planningboard@ahnj.com

Should you have any questions, please feel free to contact me.

cc: Planning Board



FREEHOLD SOIL CONSERVATION DISTRICT

(Serving Middlesex and Monmouth Counties)

4000 Kozloski Road, P.O. Box 5033

Freehold, New Jersey 07728-5033

Tel: (732) 683-8500

Fax: (732) 683-9140

E-mail: info@freeholdscd.org

Website: www.freeholdsoil.org

JAVIER TORRES
148 BAYSIDE DRIVE
ATLANTIC HIGHLANDS NJ 07716

07/25/2023

Ref.#: 0012-D630
Proj.: 148 BAYSIDE DRIVE
Twp. : ATLANTIC HIGHLANDS
Block: 1
Lots : 7

PROJECT EXEMPT

ADDITIONS / IMPROVEMENTS TO EXISTING SINGLE FAMILY DWELLINGS

Dear JAVIER TORRES,

This is to inform you that in accordance with the New Jersey Soil Erosion and Sediment Control Act, N.J.S.A. 4:24-39 et. seq., Chapter 251, P.L. 1975 and as amended by C. 264, P.L. 77 and C. 459, P.L. 79, a project is defined as "any disturbance of more than 5,000 square feet of the surface area of land for the accommodation of construction for which the State Uniform Construction Code would require a construction permit, except that the construction of a single-family dwelling unit shall not be deemed a 'project' under the act unless such unit is part of a proposed subdivision, site plan, conditional use, zoning variance, planned development or construction permit application involving two or more such single-family units,--".

In reference to the above site, improvements to a dwelling do not require certification of a Soil Erosion and Sediment Control plan. Should construction of a second dwelling or offsite soil disturbance greater than 5,000 square feet occur, certification of a Soil Erosion and Sediment Control plan would be required. If you have any questions, please feel free to contact our office.

Respectfully,


Ben Shotland
Resource Conservatationist II

cc: Planning Board
Construction Official
Municipal Engineer
Applicant's Engineer